

**SITE PLAN OF LAND IN
GROTON, MASSACHUSETTS**

"128 MAIN STREET"

MAP: 113 PARCEL: 10

**PREPARED FOR
128 MAIN STREET, LLC**

OWNER

*PERGANTIS REALTY TRUST
128 MAIN STREET, B2-A5
GROTON, MA 01450*

APPLICANT

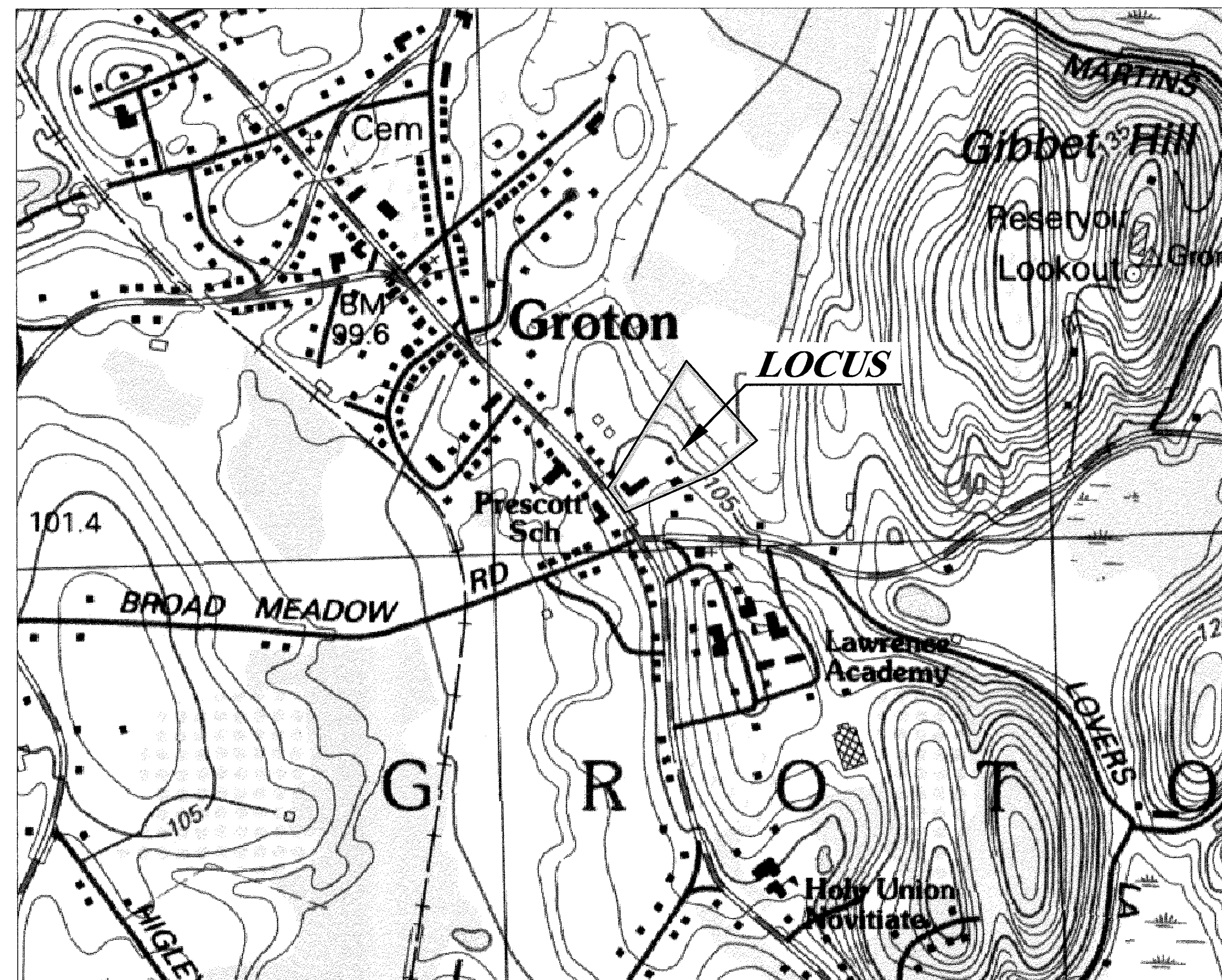
*128 MAIN STREET, LLC
19 NORTH MAIN STREET, #3
IPSWICH, MA 01938*

CIVIL ENGINEERS/SURVEYORS:

*DAVID E. ROSS ASSOCIATES, INC.
111 FITCHBURG ROAD
P.O. BOX 368
AYER, MA 01432
PH. (978) 772-6232
FAX (978) 772-6258*

LANDSCAPE ARCHITECT

*LORAYNE BLACK, ASLA
P.O. BOX 595
GROTON, MA 01450*



*LOCUS MAP
SCALE: 1" = 500'*

APPROVED
TOWN OF GROTON PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

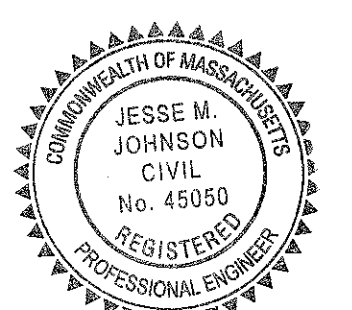
APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL
LOCAL ZONING BYLAWS.

SHEET INDEX

- SHEET 1 - EXISTING CONDITIONS*
- SHEET 2 - SITE DEMOLITION & EROSION
CONTROL PLAN*
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- SHEET 5 - UTILITIES SITE PLAN*
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- SHEET 7 - LANDSCAPING PLAN (L-2)*
- SHEET 8 - LIGHTING PLAN*
- SHEET 9 - CONSTRUCTION DETAILS (1)*
- SHEET 10 - CONSTRUCTION DETAILS (2)*
- SHEET 11 - STORMWATER POLLUTION
PREVENTION PLAN*

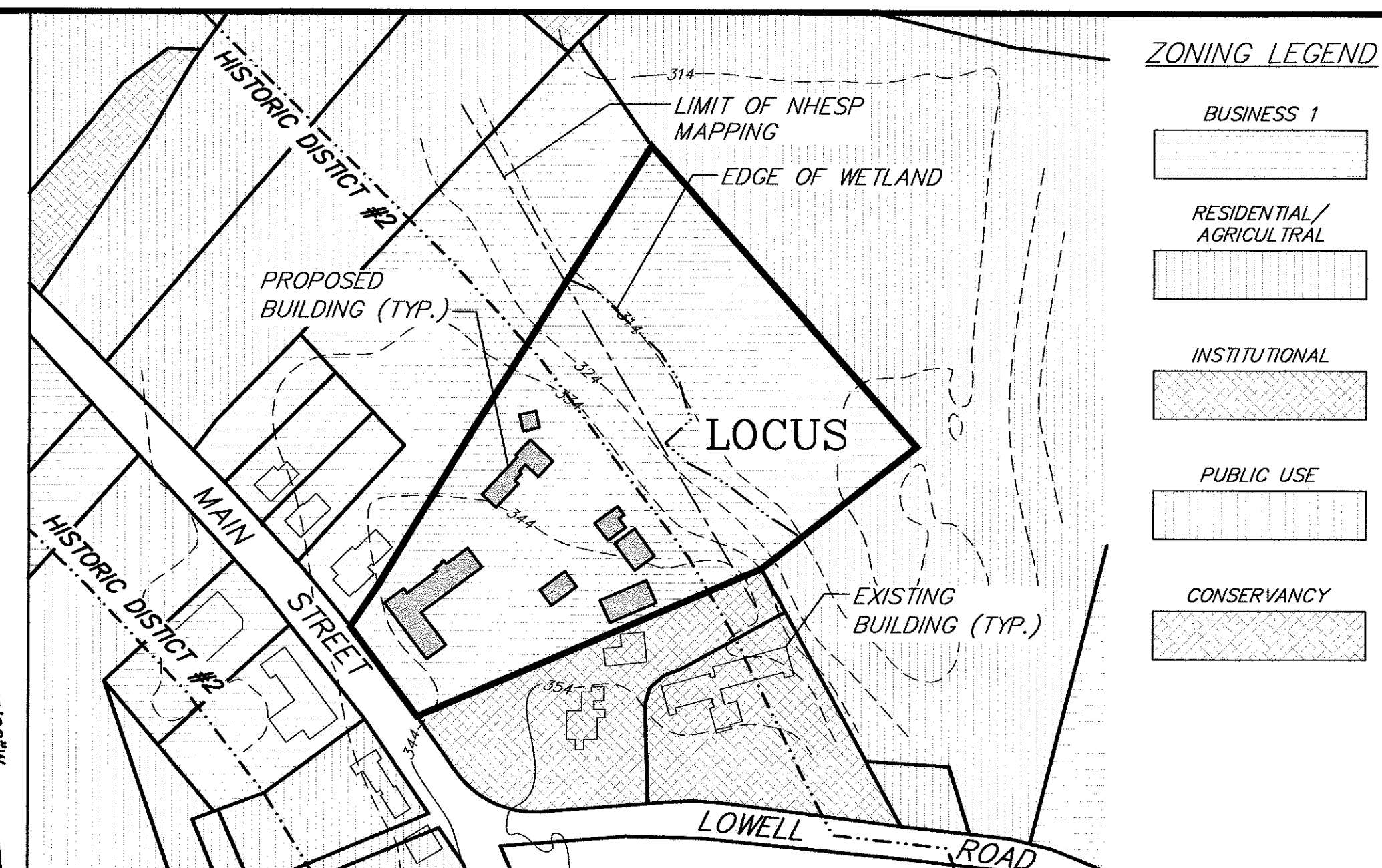
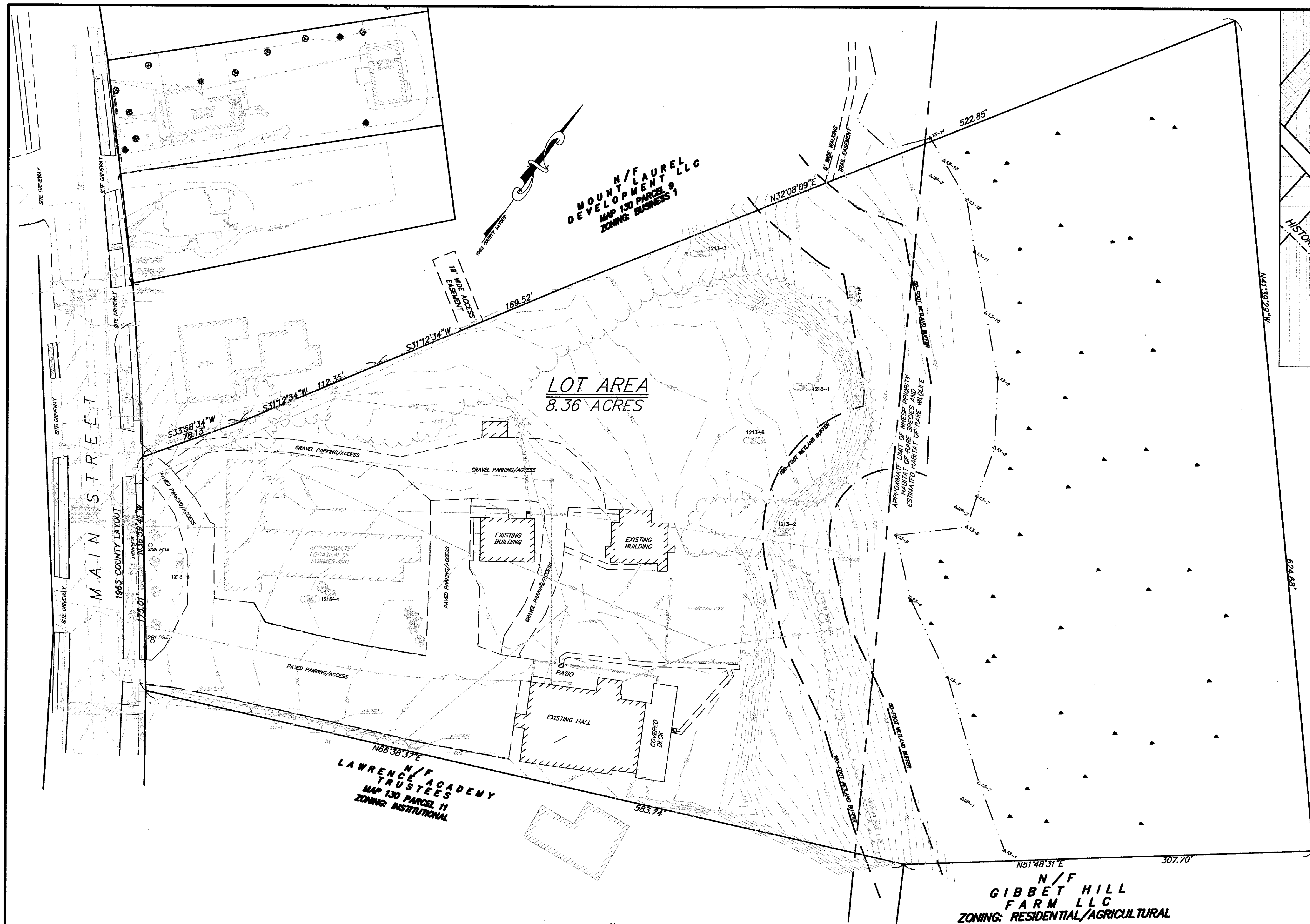
*PLAN # L-12171
PROJECT #29228*

David E. Ross Associates, Inc.
CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)



Jesse M. Johnson 4/2/14
REVISIONS

STAMP AND SIGNATURE



EXISTING SITE CONDITIONS NOTES:

- 1.01 TOTAL LOT AREA: 8.36 ACRES
- 1.02 GROTON PARCEL REFERENCE: MAP 113 PARCEL 10
- 1.03 OWNER OF RECORD: PERGANTIS REALTY TRUST
128 MAIN STREET B2-A5
GROTON, MA 01450
- APPLICANT: 128 MAIN STREET, LLC
19 NORTH MAIN STREET, #3
IPSWICH, MA 01938
- 1.04 DEED REFERENCE: MIDDLESEX SOUTHERN DIST. REG. OF DEEDS
BK.13305 PG.254
- 1.05 EXISTING UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED. DAVID E. ROSS ASSOCIATES, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES DEPICTED COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. DAVID E. ROSS ASSOCIATES, INC. FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. DAVID E. ROSS ASSOCIATES INC. HAS NOT PHYSICALLY LOCATED THE UNDERGROUND PORTIONS OF THE UTILITIES.
- 1.06 THE PARCEL IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS DETERMINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR GROTON COMMUNITY PANEL 202 OF 656, MAP NUMBER 25017C0202E, DATED JUNE 4, 2010.
- 1.07 THE SITE IS SERVED BY MUNICIPAL WATER AND SEWER, PUBLIC GAS, ELECTRIC, TELEPHONE, AND CABLE.
- 1.08 THE SITE CONTAINS WETLAND RESOURCE AREAS, ESTIMATED HABITAT FOR RARE AND ENDANGERED SPECIES, AND IS LOCATED WITHIN THE PETTAPAWAG ACEC.

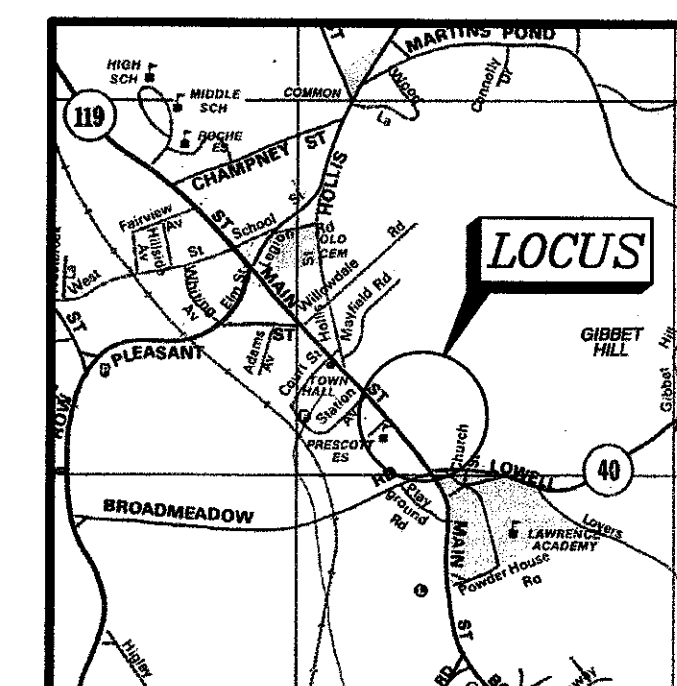
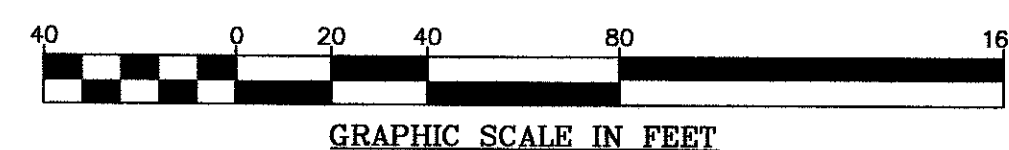
LEGEND

- EXISTING EDGE OF WETLANDS
- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- BUILDING ENVELOPE
- EXISTING CONTOUR
- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING TREE
- EXISTING ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING CATCHBASIN
- EXISTING DRAIN LINE
- EXISTING TEST HOLES
- EXISTING SEWER MANHOLE
- EXISTING WATER GATE
- EXISTING HYDRANT
- EXISTING CURB STOP
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- PROPOSED HANDICAP PARKING SPACE
- PROPOSED PARKING STALLS
- PROPOSED PAVEMENT STRIPING
- PROPOSED PAVEMENT
- PROPOSED CURBING

APPROVED
TOWN OF GROTON PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

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128 MAIN STREET
EXISTING CONDITIONS

SITE PLAN IN
GROTON, MASS.

PREPARED FOR

128 MAIN STREET, LLC

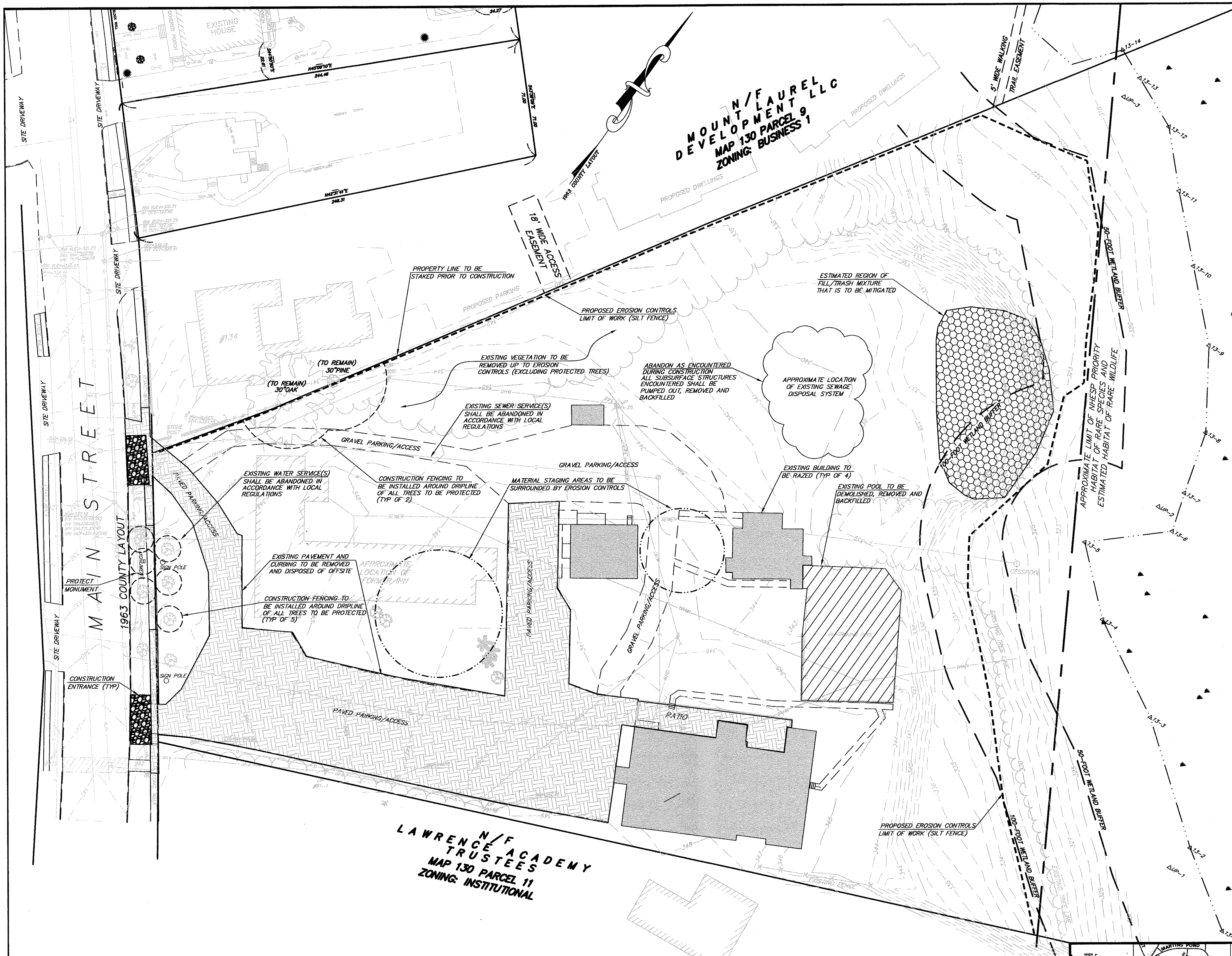
SCALE: 1"= 40'

APRIL, 2014

David E. Ross Associates, Inc.

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JOB NO. 29228 SHEET 1 OF 11 PLAN NO. L-12171



EXISTING SITE CONDITIONS NOTES:

- 1.01 TOTAL LOT AREA: 8.36 ACRES
- 1.02 GROTON PARCEL REFERENCE: MAP 113 PARCEL 10
- 1.03 OWNER OF RECORD: PERCANTIS REALTY TRUST
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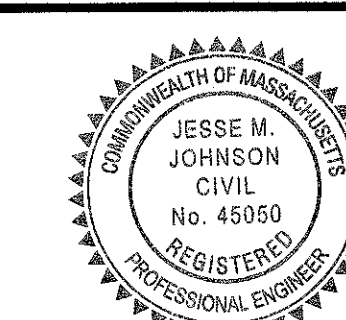
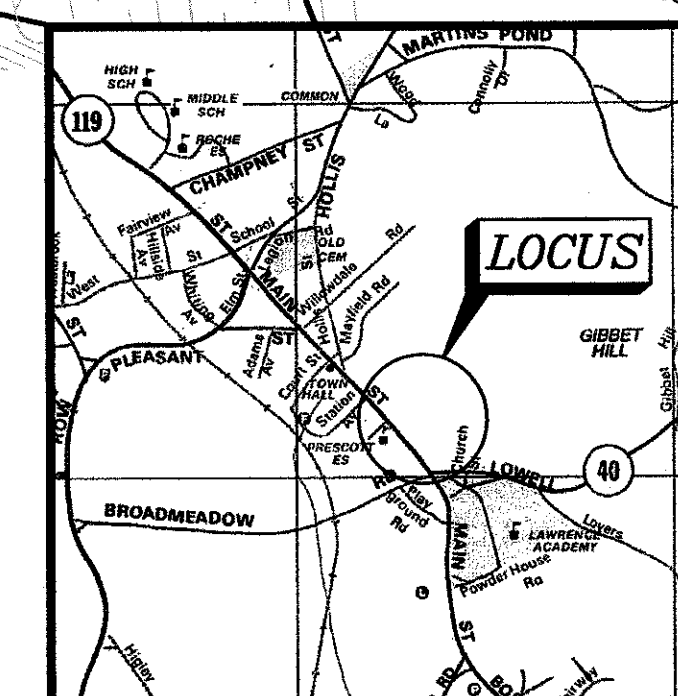
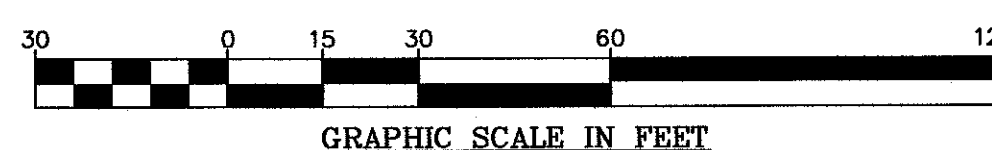
LEGEND

- | | |
|---------------------------|---------------------------------|
| PROPERTY LINE | EXISTING SEWER MANHOLE |
| EXISTING EDGE OF PAVEMENT | EXISTING WATER GATE |
| BUILDING ENVELOPE | EXISTING HYDRANT |
| EXISTING CONTOUR | EXISTING CURB STOP |
| EXISTING BUILDING | EXISTING WATER LINE |
| PROPOSED BUILDING | EXISTING GAS LINE |
| EXISTING TREE | EXISTING TELEPHONE LINE |
| EXISTING ELECTRIC LINE | PROPOSED HANDICAP PARKING SPACE |
| EXISTING UTILITY POLE | PROPOSED PARKING STALLS |
| EXISTING CATCHBASIN | PROPOSED PAVEMENT STRIPING |
| EXISTING DRAIN LINE | PROPOSED CURBING |

APPROVED TOWN OF GROTON PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

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REVISIONS

128 MAIN STREET DEMOLITION & EROSION CONTROL PLAN

SITE PLAN IN
GROTON, MASS.

PREPARED FOR

128 MAIN STREET, LLC

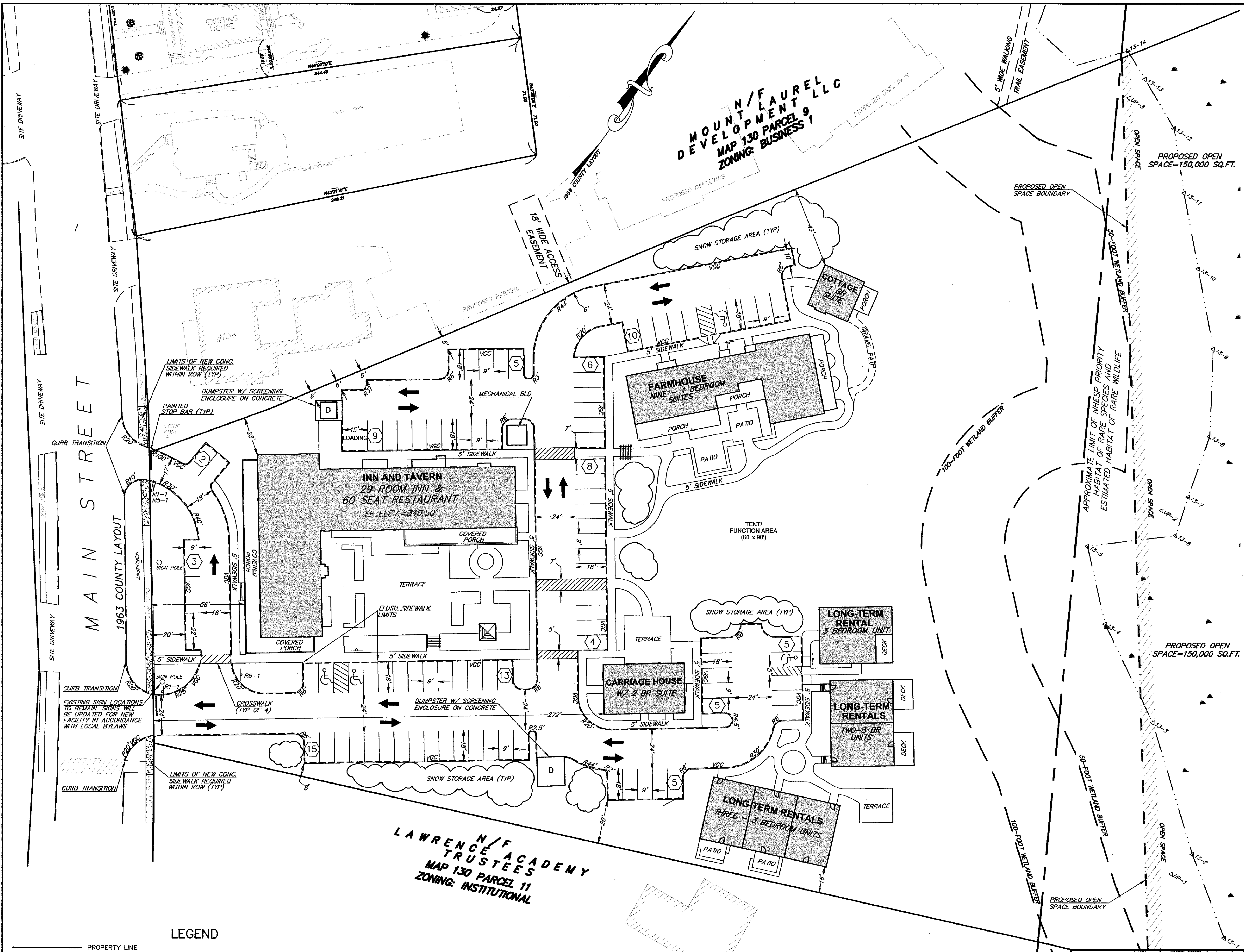
SCALE: 1"= 30'

APRIL, 2014

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JOB NO. 29228 SHEET 2 OF 11 PLAN NO. L-12171



- CONSTRUCTION NOTES:**
- 1.01 ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF GROTON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
 - 1.02 PARKING, DRIVEWAY, AND DRAINAGE CONSTRUCTION SHALL CONFORM TO THE TYPICAL SECTIONS AND DETAILS SHOWN ON THE PLANS, AND SHALL MEET THE REQUIREMENTS OF THE TOWN OF GROTON. WHERE ANY DISCREPANCIES EXIST, TOWN OF GROTON SPECIFICATIONS SHALL TAKE PRECEDENT.
 - 1.03 ALL WORK PERFORMED IN THE PUBLIC WAY SHALL MEET THE REQUIREMENTS OF THE GROTON HIGHWAY DEPARTMENT OR THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION WHERE APPLICABLE.
 - 1.04 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK.
 - 1.05 EXISTING UNDERGROUND UTILITIES ARE NOT WARRANTED TO BE EXACT OR COMPLETE. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
 - 1.06 A MINIMUM OF 4" TOPSOIL SHALL BE PLACED ON DISTURBED AREAS AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
 - 1.07 PRIOR TO ANY WORK BEING CONDUCTED, A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE DPW STAFF AND OTHER TOWN DEPARTMENTS, AS NECESSARY, TO REVIEW WORK PROPOSED.
 - 1.08 ALL TRAFFIC SIGNS, IF REQUIRED, SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - 1.09 UPON ENTERING THE SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL AND DEWATERING AND SHALL ENACT CONTROL MEASURES TO ENSURE NO SILTATION OF THE STREETS AND THE DRAINAGE SYSTEMS. REFER TO SHEET 11 OF 11, STORMWATER POLLUTION PREVENTION PLAN, FOR ADDITIONAL DETAIL.
 - 1.10 CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, TELEPHONE NO. 1-888-344-7233.
 - 1.11 PROPOSED HOURS OF OPERATION:
INN: 24 HOURS A DAY, 7 DAYS A WEEK
TAVERN: 4:30 PM TO 11:30 PM 7 DAYS A WEEK
10:30 AM TO 2:30 PM SUN
DELIVERIES: 7:00 AM TO 12:00 PM MON-FRI
LIGHTING: DIMMING AFTER 11:30 PM 7 DAYS A WEEK

TABLE OF ZONING COMPLIANCE				
ZONING CRITERIA (MAXIMUM OR MINIMUM)	PLANNED MULTIFAMILY/RESIDENTIAL DEV. (REQUIRED)	128 MAIN ST. LONG-TERM UNITS	BUSINESS 1 ZONING DISTRICT (REQUIRED)	128 MAIN ST. SHORT-TERM UNITS
MIN. LOT AREA	80,000 SQ.FT. + 10,000 SQ.FT./BR	364,145 SQ.FT.	40,000 SQ.FT.	364,145 SQ.FT.
MIN. FRONTAGE	175-FT.	175.01-FT.	175-FT.	175.01-FT.
MIN. FRONT SETBACK	200-FT. (BLD) 200-FT. (PARKING)	272-FT.(BLD) 273-FT.(PARKING)	50-FT.	56-FT.
MIN. SIDE/REAR SETBACK	100-FT. (BLD) 100-FT. (PARKING)	16-FT.(BLD) 26-FT.(PARKING)	15-FT.(SIDE) 15-FT.(REAR)	23-FT. 407-FT.
MAX. STORIES	3 STORIES	2 STORIES	3 STORIES	3 STORIES
MAX. BUILDING HEIGHT	35-FT.	25-FT.	35-FT.	35-FT.
MAX. LOT COVERAGE	--	--	25%	±6%
OPEN SPACE(CONSERVATION)	25%	±41%	--	--

NOTE: "SHORT-TERM UNITS" ARE CONSIDERED TO BE THE INN, FARMHOUSE, AND COTTAGE

SIGN LEGEND

R1-1

R5-1

R6-1

PARKING TABLE:

PARKING SPACES REQUIRED:

REGULATIONS

RESIDENTIAL: 1 SPACE PER 1 BEDROOM UNIT
2 SPACES FOR ALL OTHER RESIDENTIAL UNITS

INN: 1 SPACE PER ROOM

RESTAURANT: 1 SPACE PER 2 EMPLOYEES ON LARGEST SHIFT
5 SPACES FOR EMPLOYEES
1 SPACE PER 2 SEATS

PROPOSED

RESIDENTIAL: 7 - 2 & 3 BEDROOM UNITS = 14 SPACES
INN, COTTAGE, 39 ROOMS = 39 SPACES
& FARMHOUSE: 4 EMPLOYEES = 2 SPACES
TAVERN: 5 EMPLOYEES + 60 SEATS = 35 SPACES
TOTAL REQUIRED: 90 SPACES

PARKING SPACES PROVIDED:

MAIN STREET CREDIT: 5 SPACES
ON-SITE PAVED: 85 SPACES
TOTAL PROVIDED: 90 SPACES

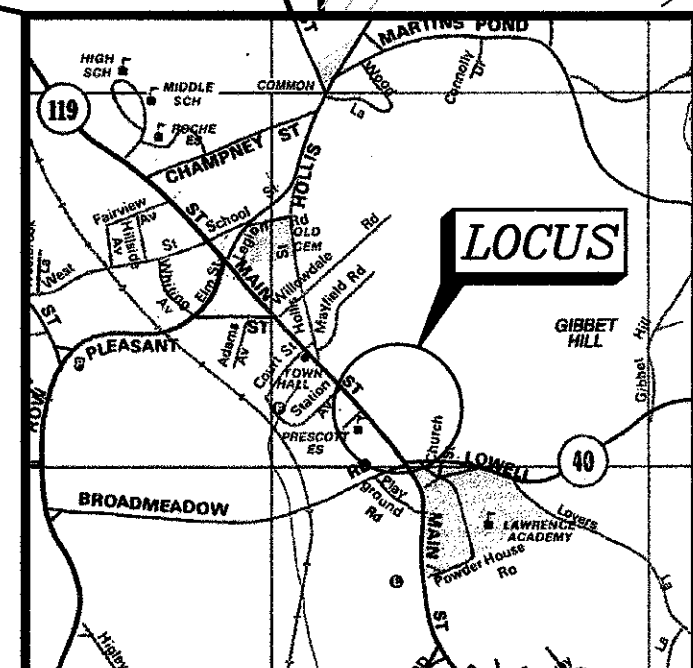
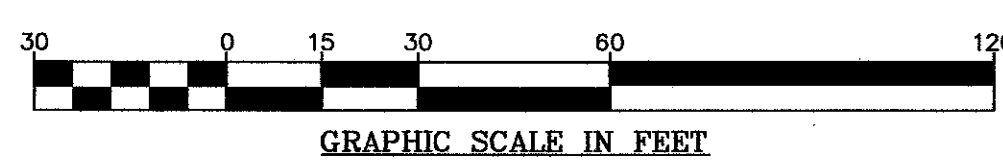
- LEGEND**
- PROPERTY LINE
 - EXISTING EDGE OF PAVEMENT
 - BUILDING ENVELOPE
 - PROPOSED EROSION CONTROL
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - 100-FOOT BUFFER ZONE
 - EDGE OF WETLANDS
 - PROPOSED BUILDING
 - EXISTING TREE
 - PROPOSED TREE
 - EXISTING SPOT GRADE
 - PROPOSED SPOT GRADE
 - EXISTING ELECTRIC LINE
 - EXISTING UTILITY POLE
 - EXISTING CATCHBASIN
 - EXISTING DRAIN LINE
 - EXISTING SEWER MANHOLE
 - EXISTING SEWER
 - EXISTING WATER GATE
 - EXISTING HYDRANT
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING TELEPHONE LINE
 - EDGE OF PAVEMENT
 - ROOF DOWN SPOUT
 - VERTICAL GRANITE CURB
 - PROPOSED HANDICAP PARKING SPACE
 - PROPOSED DRAIN MANHOLE
 - PROPOSED CATCHBASIN
 - PROPOSED DRAIN LINE
 - PROPOSED CABLE/TELEPHONE/ELECTRIC LINE
 - PROPOSED SEWER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED WATER LINE
 - PROPOSED GAS LINE
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 - PROPOSED PAVEMENT
 - PROPOSED CURBING

APPROVED

TOWN OF GROTON PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____



REVISIONS

4/2/14

128 MAIN STREET

SITE PLAN IN

GROTON, MASS.

PREPARED FOR

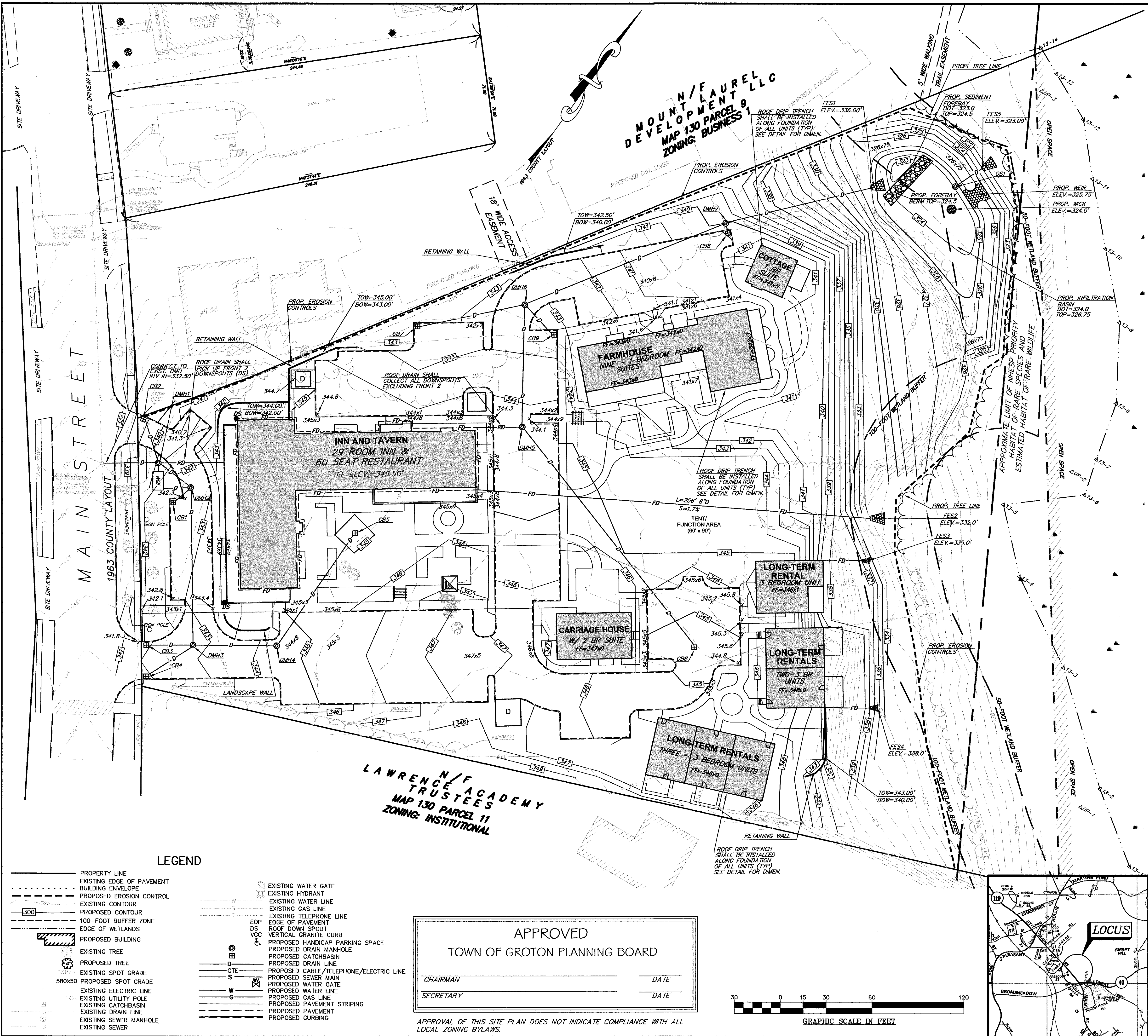
128 MAIN STREET, LLC

SCALE: 1"= 30' APRIL, 2014

David E. Ross Associates, Inc.

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JOB NO. 29228 SHEET 3 OF 11 PLAN NO. L-12171



CONSTRUCTION NOTES:

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- 1.10 CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, TELEPHONE NO. 1-888-344-7233.
- 1.11 DEVELOPING THE SITE TO THE PROPOSED FINAL GRADES SHOWN ON THIS SHEET WILL REQUIRE APPROXIMATELY THE FOLLOWING EARTHWORK QUANTITIES:

CUT = 7,573 CU.YD. (INCLUDING FOUNDATIONS)
FILL = 3,140 CU.YD.
NET = 4,433 CU.YD CUT

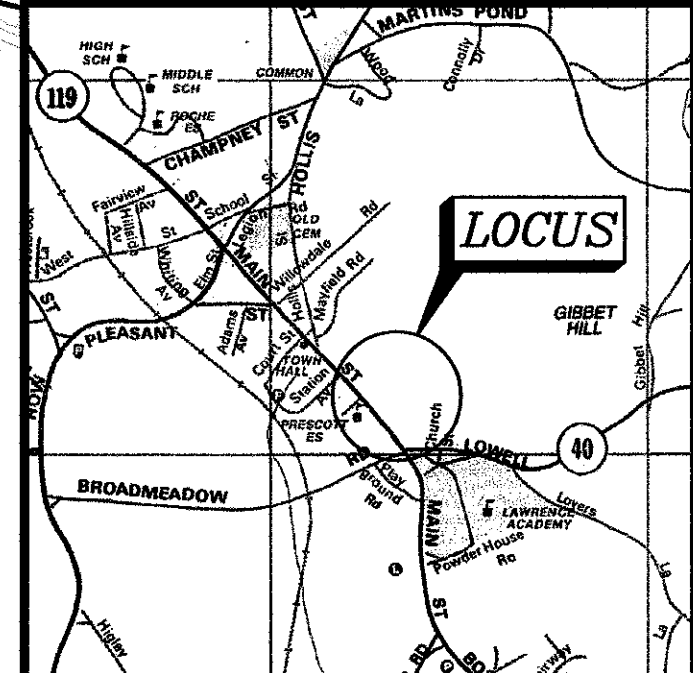
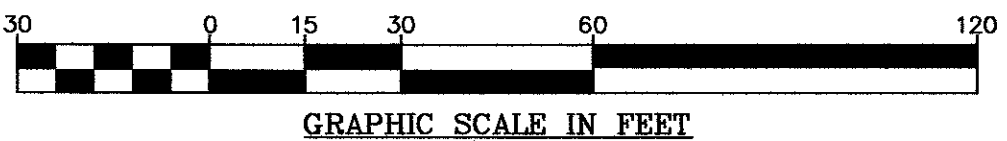
LEGEND

- | | |
|---------------------------------|--------------------------------------------|
| --- PROPERTY LINE | --- EXISTING WATER GATE |
| - - - EXISTING EDGE OF PAVEMENT | --- EXISTING HYDRANT |
| - - - BUILDING ENVELOPE | --- EXISTING WATER LINE |
| - - - PROPOSED EROSION CONTROL | --- EXISTING GAS LINE |
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| - - - EDGE OF WETLANDS | --- VERTICAL GRANITE CURB |
| - - - PROPOSED BUILDING | --- PROPOSED HANDICAP PARKING SPACE |
| --- EXISTING TREE | --- PROPOSED DRAIN MANHOLE |
| --- PROPOSED TREE | --- PROPOSED CATCHBASIN |
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| --- PROPOSED SPOT GRADE | --- PROPOSED CABLE/TELEPHONE/ELECTRIC LINE |
| --- EXISTING ELECTRIC LINE | --- PROPOSED WATER MAIN |
| --- EXISTING UTILITY POLE | --- PROPOSED WATER LINE |
| --- EXISTING CATCHBASIN | --- PROPOSED GAS LINE |
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| --- EXISTING SEWER | --- PROPOSED CURBING |

APPROVED
TOWN OF GROTON PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL LOCAL ZONING BYLAWS.



Professional Engineer Seal for Jesse M. Johnson, No. 45090, State of Massachusetts. Signature: David E. Ross, dated 4/21/14.

128 MAIN STREET
GRADING & DRAINAGE PLAN

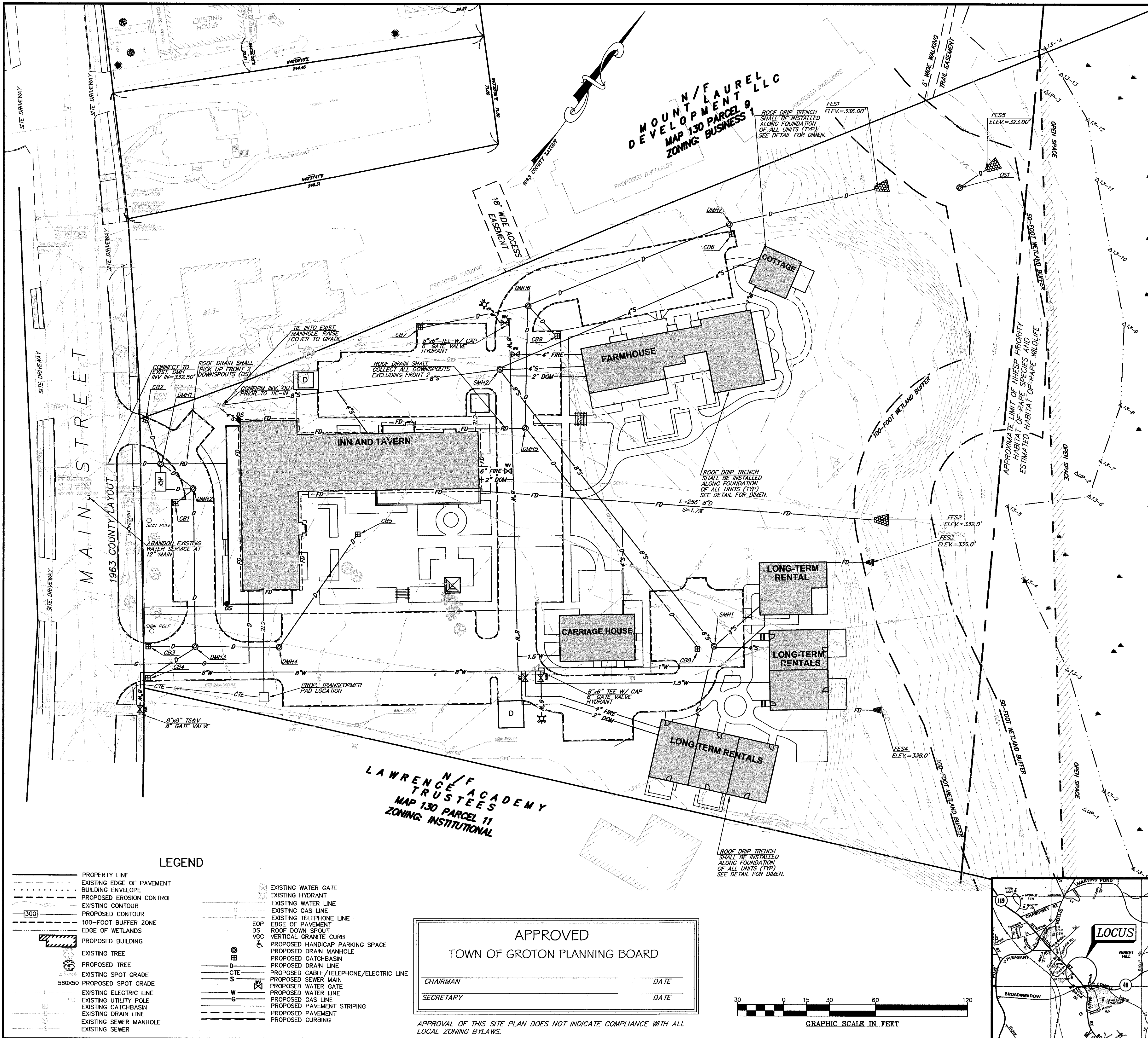
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GROTON, MASS.

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SCALE: 1"= 30' APRIL, 2014

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JOB NO. 29228 SHEET 4 OF 11 PLAN NO. L-12171



- UTILITY NOTES:
1. TRENCH BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90% MAXIMUM DRY DENSITY PER AASHTO STANDARDS.
 2. CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE-HALF OF THE EXISTING STREET WIDTH IN SERVICE AT ALL TIMES DURING THE CONSTRUCTION OF THE UTILITY CONNECTIONS.
 3. ALL WATER SERVICES SHALL BE TESTED IN ACCORDANCE WITH GROTON WATER DEPARTMENT STANDARDS.
 4. NEW WATER SERVICES SHALL BE INSTALLED A MINIMUM OF 10' HORIZONTALLY OR 18" VERTICALLY ABOVE EXISTING OR NEW SEWERS. WHERE THE SEPARATION IS LESS THAN STATED ABOVE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF CLASS 150, OR GREATER, MECHANICAL JOINT CEMENT LINED DUCTILE IRON PIPE. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATERTIGHTNESS.
 5. WATER SERVICES SHALL HAVE A MINIMUM OF FIVE FEET OF EARTH COVER. WHEN THIS IS NOT FEASIBLE, THE PIPE SHALL BE INSULATED IN ACCORDANCE WITH GROTON WATER DEPARTMENT STANDARDS.
 6. PROPOSED WATER SERVICE SHALL BE EQUIPPED WITH A BACKFLOW DEVICE AND METER IN A LOCATION ACCESSIBLE TO THE GROTON WATER DEPARTMENT.
 7. CONTRACTOR SHALL COORDINATE THE GAS SERVICE CONNECTION WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 8. CONTRACTOR SHALL COORDINATE ELECTRIC, CABLE, TELEPHONE, AND ALARM CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.
 9. ALL WORK PERFORMED IN THE PUBLIC WAY SHALL MEET THE REQUIREMENTS OF THE GROTON HIGHWAY DEPARTMENT OR THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION WHERE APPLICABLE.
 10. CONTRACTOR SHALL NOTIFY DIG-SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, TELEPHONE NO. 1-888-344-7233.

DRAINAGE STRUCTURE TABLE				
STRUCTURE	RIM EL.	INVERT IN EL.	INVERT OUT EL.	PIPE SIZE
CB 1	342.10	-----	338.10 (DMH 2)	12"
DMH 1 (5' DIA.)	341.00	334.33 (CB 2)	-----	12"
		337.33 (RD)	-----	8"
		337.50 (DMH 2)	-----	12"
		337.00 (WQI)	-----	8"
		-----	332.84 (EXIST)	12"
WQI	341.00	337.42 (DMH 2)	-----	8"
		-----	337.25 (DMH 1)	8"
DMH 2	342.40	337.58 (DMH 3)	-----	12"
		337.99 (CB 1)	-----	12"
		-----	337.58 (WQI)	8"
		-----	339.40 (DMH 1)	12"
CB 2	338.60	-----	334.60 (DMH 1)	12"
CB 3	341.90	-----	338.90 (DMH 3)	12"
CB 4	341.90	-----	338.90 (DMH 3)	12"
DMH 3	342.80	340.29 (DMH 4)	-----	8"
		338.63 (CB 3)	-----	12"
		338.57 (CB 4)	-----	12"
		-----	338.57 (DMH 2)	12"
CB 5	344.70	-----	341.70 (DMH 4)	8"
DMH 4	344.40	340.80 (CB 5)	-----	8"
		-----	340.80 (DMH 3)	8"
CB 7	342.00	-----	339.00 (DMH 6)	12"
CB 9	342.60	-----	339.60 (DMH 6)	12"
CB 8	344.50	-----	341.50 (DMH 5)	12"
DMH 5	344.20	339.71 (CB 8)	-----	12"
		340.00 (RD)	-----	8"
		-----	339.70 (DMH 6)	12"
DMH 6 (5' DIA.)	342.60	338.94 (DMH 5)	-----	12"
		338.31 (CB 7)	-----	12"
		339.37 (CB 9)	-----	12"
		-----	338.31 (DMH 7)	12"
CB 6	340.00	-----	337.00 (DMH 7)	12"
DMH 7	340.00	336.93 (DMH 6)	-----	12"
		336.95 (CB 6)	-----	12"
		-----	336.00 (FOREBAY)	15"
OS1	325.75	324.50(ORIFICE)	-----	6"(2 TOTAL)
		324.50(ORIFICE)	-----	8"
		-----	324.00(FESS)	12"

NOTE: ALL DRAINAGE PIPE SHALL BE HDPE

128 MAIN STREET UTILITIES SITE PLAN

SITE PLAN IN
GROTON, MASS.

PREPARED FOR
128 MAIN STREET, LLC

SCALE: 1"= 30' APRIL, 2014

David E. Ross Associates, Inc.

CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)

JOB NO. 29228 SHEET 5 OF 11 PLAN NO. L-12171

LEGEND

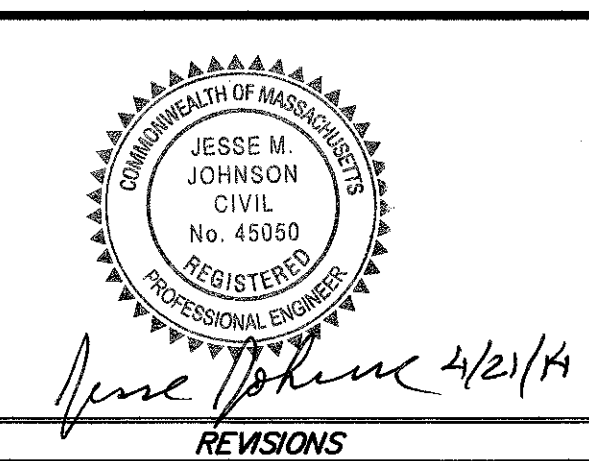
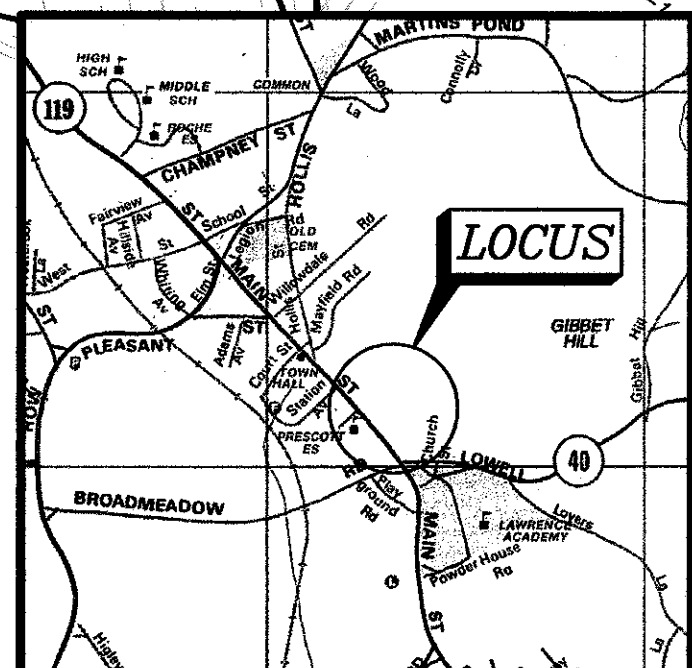
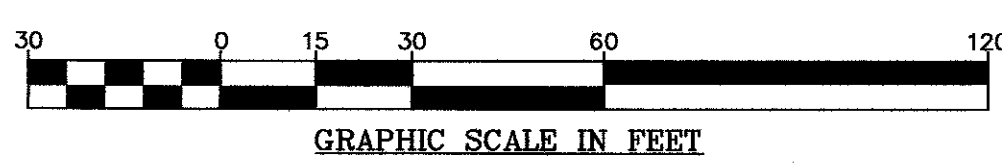
- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- BUILDING ENVELOPE
- PROPOSED EROSION CONTROL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100-FOOT BUFFER ZONE
- EDGE OF WETLANDS
- PROPOSED BUILDING
- EXISTING TREE
- PROPOSED TREE
- EXISTING SPOT GRADE
- PROPOSED SPOT GRADE
- EXISTING ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING CATCHBASIN
- EXISTING DRAIN LINE
- EXISTING SEWER MANHOLE
- EXISTING SEWER
- EXISTING WATER GATE
- EXISTING HYDRANT
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING TELEPHONE LINE
- EDGE OF PAVEMENT
- ROOF DOWN SPOUT
- VERTICAL GRANITE CURB
- PROPOSED HANDICAP PARKING SPACE
- PROPOSED DRAIN MANHOLE
- PROPOSED CATCHBASIN
- PROPOSED DRAIN LINE
- PROPOSED CABLE/TELEPHONE/ELECTRIC LINE
- PROPOSED SEWER MAIN
- PROPOSED WATER GATE
- PROPOSED WATER LINE
- PROPOSED GAS LINE
- PROPOSED PAVEMENT STRIPING
- PROPOSED PAVEMENT
- PROPOSED CURBING

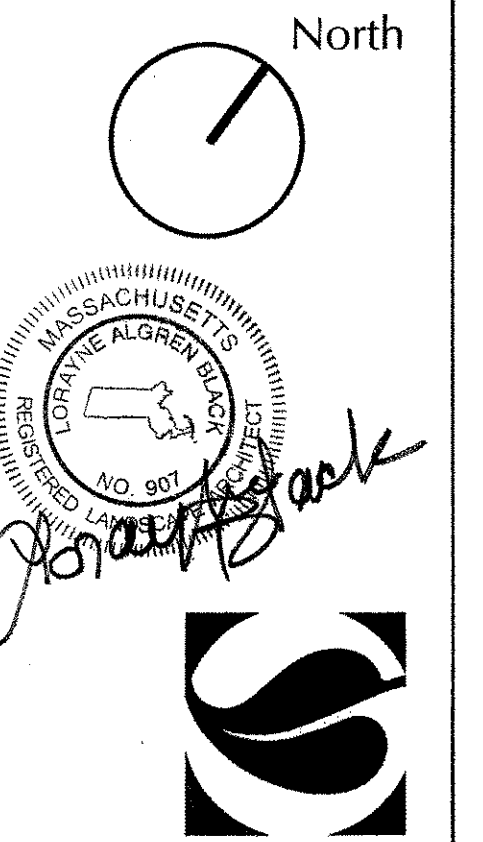
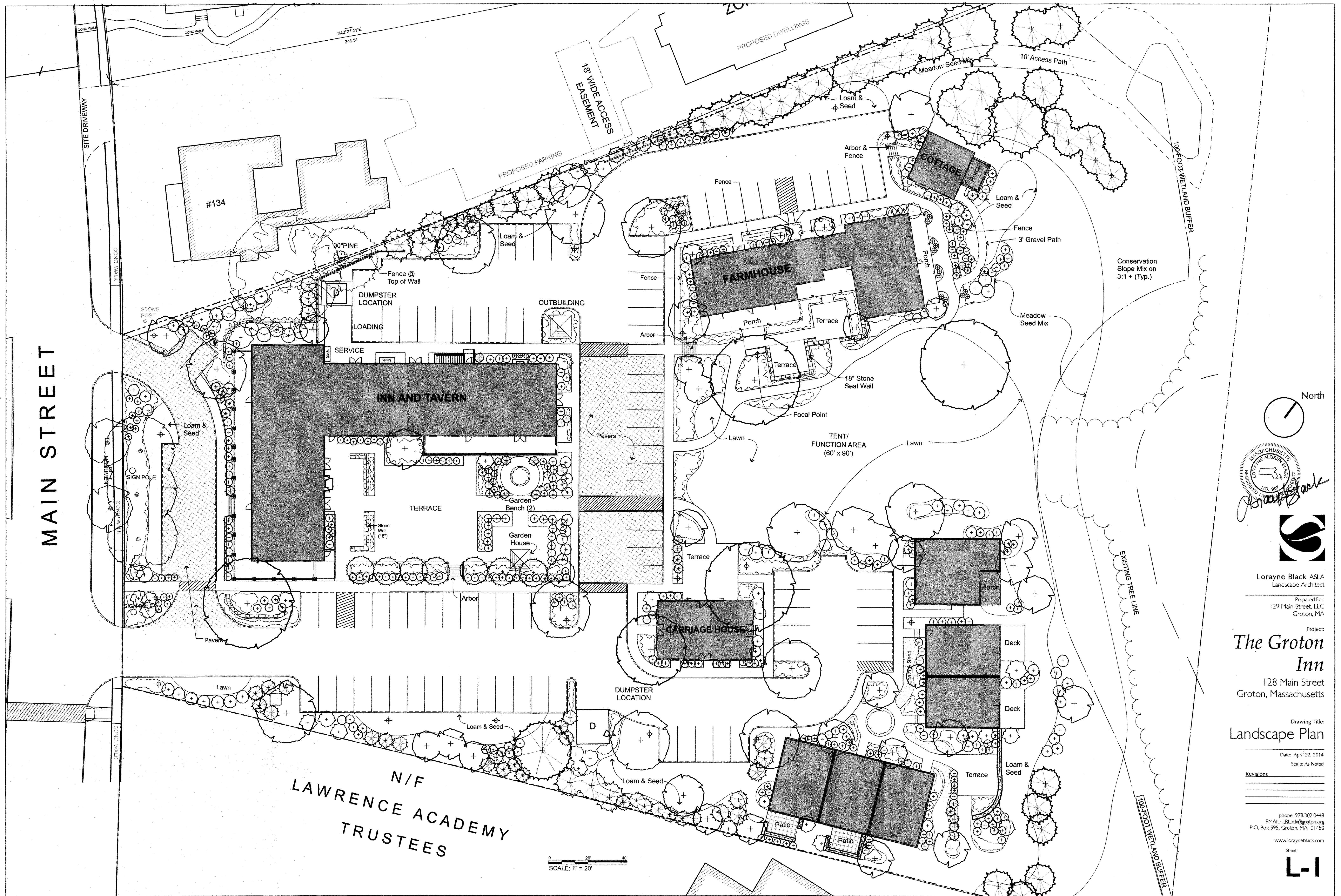
APPROVED

TOWN OF GROTON PLANNING BOARD

CHAIRMAN	DATE
SECRETARY	DATE

APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL LOCAL ZONING BYLAWS.





Lorayne Black ASLA
Landscape Architect
Prepared For:
129 Main Street, LLC
Groton, MA

Project:
The Groton Inn
128 Main Street
Groton, Massachusetts

Drawing Title:
Landscape Plan

Date: April 22, 2014
Scale: As Noted

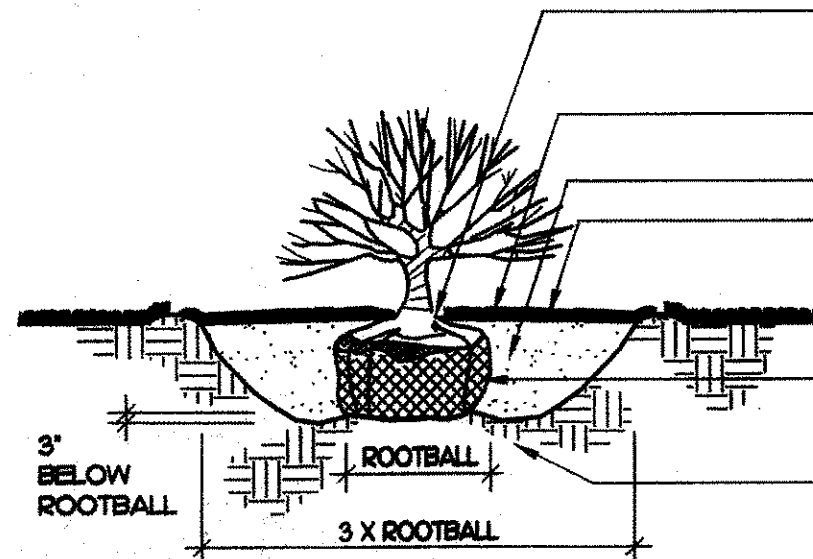
Revisions

phone: 978.302.0448
EMAIL: LBlack@groton.org
P.O. Box 595, Groton, MA 01450

www.lorayneblack.com

Sheet:
L-1

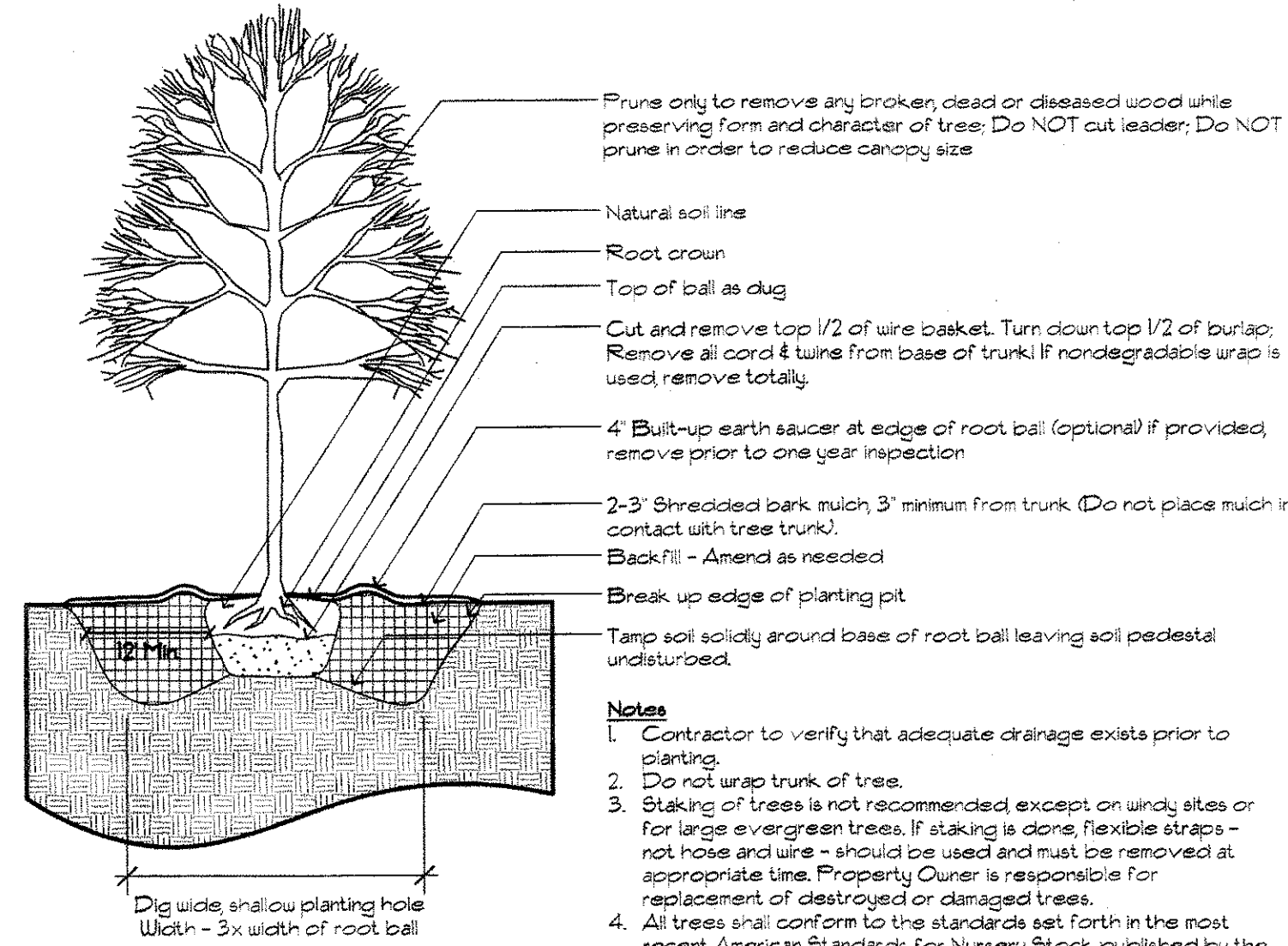
EXCAVATE TO REQUIRED DEPTH
AND BACKFILL WITH PLANTING MIX



2 Shrub Planting Detail

NOT TO SCALE

- RAISE AND REPLANT ANY SHRUBS WHICH SETTLE
MORE THAN 2 INCHES AFTER PLANTING & WATERING IN
- SHRUBS SHALL BE SET PLUMB
- WATER BY FLOODING TWICE IN FIRST TWO HOURS
AFTER PLANTING. WATER & MAINTAIN AS PER
STANDARD SPECIFICATIONS
- SHRUB SHALL BE PLANTED SO THAT CROWN
IS 2 INCH MIN. ABOVE FINISHED GRADE AFTER SETTLEMENT
- 2-3 INCH DEPTH AGED PINE BARK MULCH (FULL
AWAY FROM BASE OF SHRUB)
- BACKFILL MIX PER SPECIAL PROVISIONS
- 3 INCH HIGH EARTH WATERING SAUCER
AROUND PIT
- COMPLETELY REMOVE SYNTHETIC BURLAP AND
LACING. FOR CONTAINERIZED PLANTS, REMOVE
CONTAINER PRIOR TO PLANTING
- UNDISTURBED SUBGRADE
- LOOSE OR CRACKED ROOTBALLS WILL NOT BE
ACCEPTED FOR PLANTING



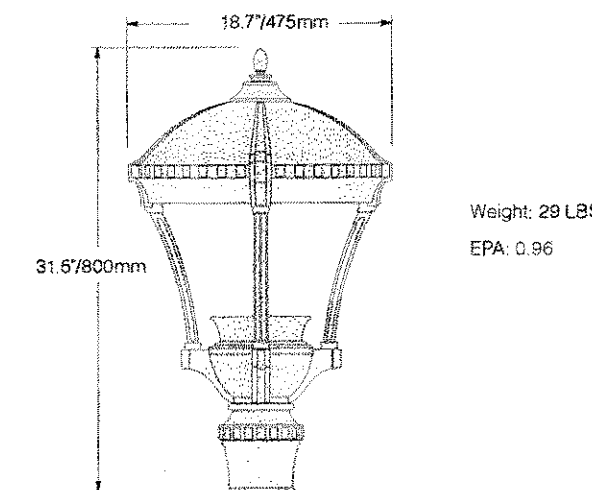
1 Tree Planting Detail

NOT TO SCALE

PROV (LED) - Providence Medium Housing Scale TYPE I

- MonoCore™ & MonoEmitter technologies
- Canted design provides even illumination with less glare
- Upgrade kits
- 0-10v dimming ready
- Surge protection included
- Type 2, 3, 4, 5, Custom, Left & Right distributions
- IP65 construction
- DLC QPL Listed
- Powder coat finish in 13 standard colors with a polymer primer sealer

DIMENSIONS



3 Light Detail

NOT TO SCALE

Plant Palette List:

SHADE TREES

Key	Botanical Name	Common Name
AG	Acer griseum	Paperbark Maple
AR	Acer rubrum 'Red Sunset'	Red Maple
AS	Acer saccharum 'Green Mountain'	Sugar Maple
BP	Betula papyrifera	Paper Birch
FG	Fagus grandifolia	American Beech
FS	Fagus sylvatica 'Dawyckii Purple'	Dawyck Purple Beech
LT	Liriodendron tulipifera	Tuliptree
MG	Metasequoia glyptostroboides	Dawn Redwood
QA	Quercus alba	White Oak

FLOWERING TREES

CC	Cercis canadensis 'Forest Pansy'	Redbud
CM	Cornus mas	Cornelian cherry Dogwood
CN	Cornus alternifolia	Pagoda Dogwood
MJ	Magnolia lilliflora 'Jane'	Jane Magnolia
MV	Magnolia virginiana 'Moonglow'	Moodglove Magnolia
MA	Malus 'Donald Wyman'	Crabapple
PO	Prunus 'Okame' multi-stem	Okame Cherry
SJ	Styrax japonica	Japanese Snowbell
SP	Stewartia pseudocamellia	Japanese Stewartia

EVERGREEN TREES

AB	Abies balsamea	Balsam Fir
PG	Picea glauca	White Spruce
PP	Picea pungens 'Bakeri'	Baker Blue Spruce
TH	Thuja plicata 'Green Giant'	Green Giant Arborvitae

FLOWERING SHRUBS

AV	Azalea viscosum	Swamp Azalea
AZ	Azalea 'Rosy Light's	Rosy Lights Azalea
CC	Caryopteris clandonensis	Caryopteris
DG	Duetzia gracilis 'Nikko'	Nikko Duetzia
EC	Enkianthus campanulatus	Enkianthus
FG	Fothergilla gardenii 'Blue Shadow'	Fothergilla
HA	Hamamelis intermedia 'Jelena'	Witchhazel
HY	Hydrangea arborescens 'Annabelle'	Smooth Hydrangea
HP	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea
HQ	Hydrangea quercifolia 'Ruby Slippers'	Oakleaf Hydrangea
IT	Itea virginica 'Little Henry'	Sweetspire
PO	Physocarpus opulifolius 'Summer Wine'	Ninebark
RA	Rhus aromatica 'Grow Low'	Fragrant Sumac
RO	Shrub Roses	Rose
SJ	Spirea japonica 'Shiboni'	Spirea
ST	Spirea trilobata 'Mellow Yellow'	Spirea
SV	Syringa vulgaris hybrids	Lilac
VB	Viburnum burkwoodii 'Mohawk'	Mohawk Viburnum

EVERGREEN SHRUBS

BX	Buxus microphylla 'Green Velvet'	Boxwood
CH	Cephalotaxus harringtonia Prostrata'	Plum Yew
CP	Chamaecyparis obtusa 'Gracilis'	Hinoki Falsecypress
IC	Ilex crenata 'Sky Pencil'	Pencil Japanese Holly
IG	Ilex glabra 'Compacta'	Inkberry
JH	Juniperus H. 'Blue Chip'	Blue Chip Juniper
KL	Kalmia latifolia 'Sarah'	Mt. laurel
LF	Leucothoe axillaris	Leucothoe
PM	Pinus mugo 'Mops'	Mops Pine
RH	Rhododendron 'Boule de Neige'	Rhododendron
RC	Rhododendron 'Capistrano'	Rhododendron
RO	Rhododendron 'Olga Mezitt'	Rhododendron

NATURAL SHRUB BORDER

AM	Amelanchier grandiflora 'Autumn Brilliance'	Serviceberry
CA	Cornus alba 'Ivory Halo'	Redtwig Dogwood
CL	Clethra alnifolia 'Hummingbird'	Summersweet
IV	Ilex verticillata 'Winter Red'	Winterberry
JC	Juniperus virginiana 'Emerald Sentinel'	Columnar Juniper
VT	Viburnum trilobum	American Cranberry Viburnum



Lorayne Black ASLA
Landscape Architect

Prepared For:
129 Main Street, LLC
Groton, MA

Project:

The Groton
Inn

128 Main Street
Groton, Massachusetts

Drawing Title:

Landscape Details

Date: April 22, 2014

Scale: As Noted

Revisions

phone: 978.302.0448

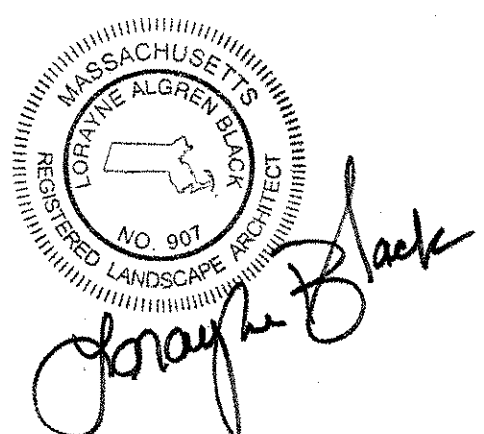
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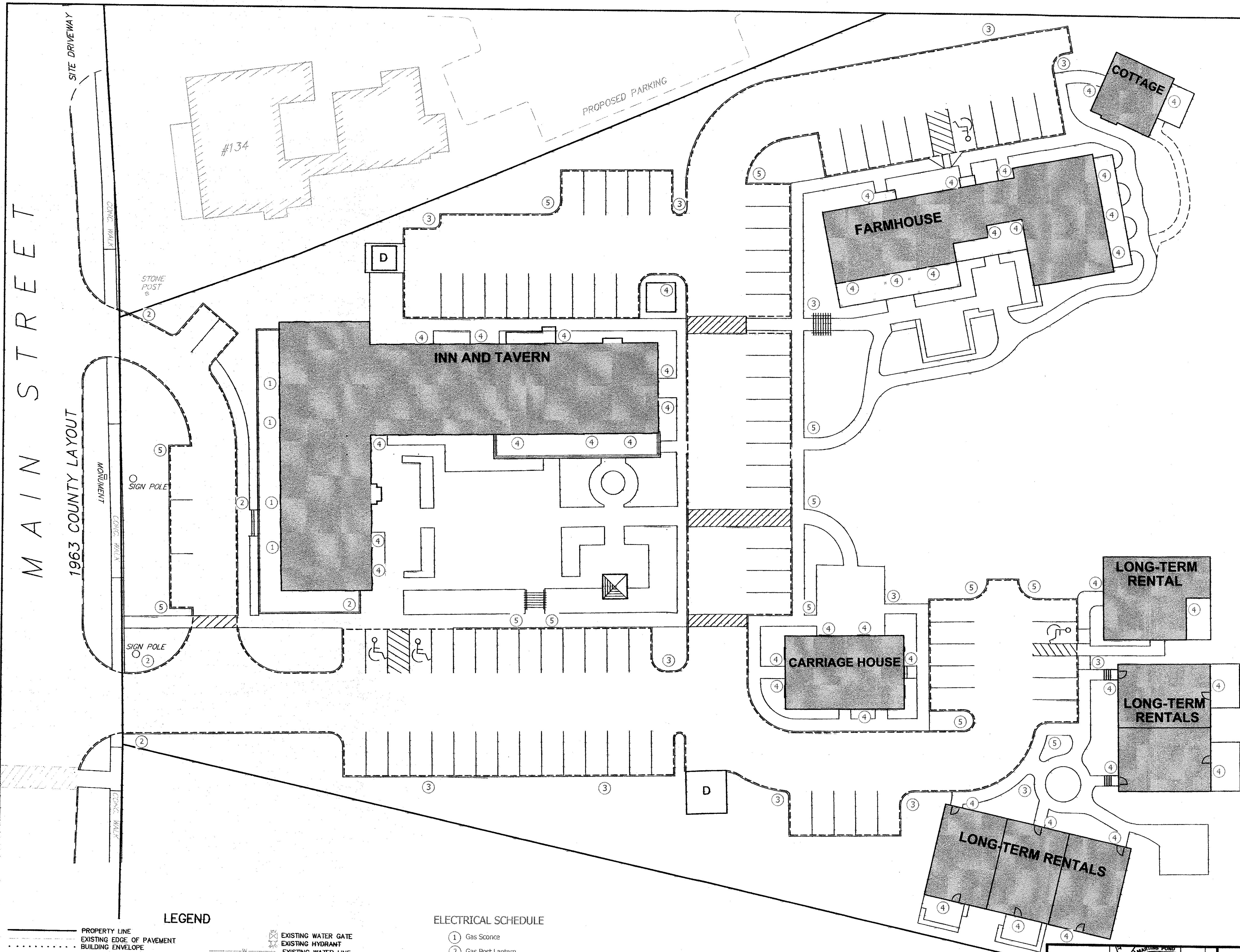
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www.lorayneblack.com

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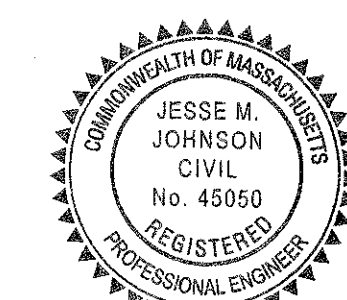
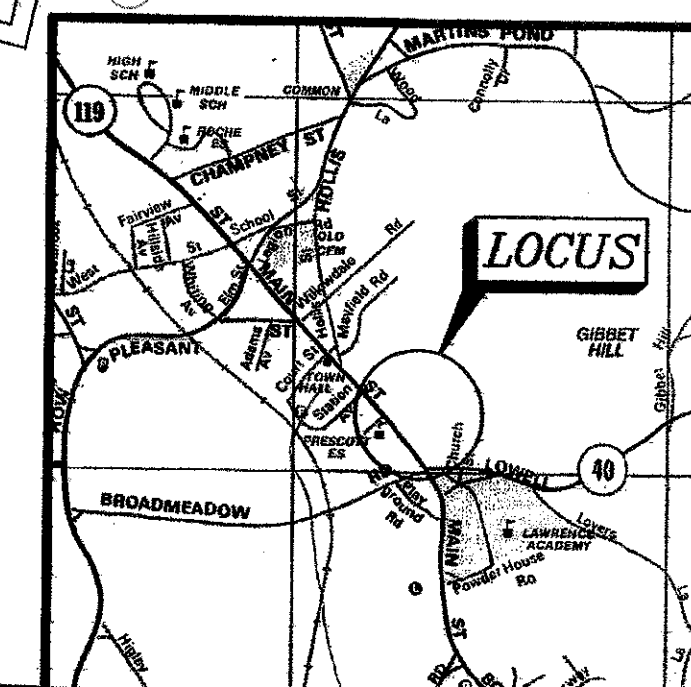
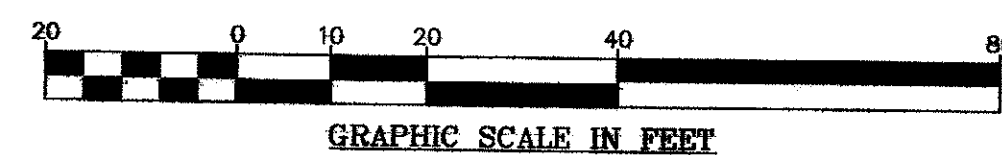


LEGEND

- | | |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>PROPERTY LINE</p> <p>EXISTING EDGE OF PAVEMENT</p> <p>BUILDING ENVELOPE</p> <p>PROPOSED EROSION CONTROL</p> <p>EXISTING CONTOUR</p> <p>PROPOSED CONTOUR</p> <p>100-FOOT BUFFER ZONE</p> <p>EDGE OF WETLANDS</p> <p>PROPOSED BUILDING</p> <p>EXISTING TREE</p> <p>PROPOSED TREE</p> <p>EXISTING SPOT GRADE</p> <p>PROPOSED SPOT GRADE</p> <p>580x50</p> <p>EXISTING ELECTRIC LINE</p> <p>EXISTING UTILITY POLE</p> <p>EXISTING CATCHBASIN</p> <p>EXISTING DRAIN LINE</p> <p>EXISTING SEWER MANHOLE</p> <p>EXISTING SEWER</p> | <p>EXISTING WATER GATE</p> <p>EXISTING HYDRANT</p> <p>EXISTING WATER LINE</p> <p>EXISTING GAS LINE</p> <p>EXISTING TELEPHONE LINE</p> <p>EDGE OF PAVEMENT</p> <p>STATE BITUMINOUS BERM</p> <p>CAPE COD BERM</p> <p>VGC</p> <p>PROPOSED HANDICAP PARKING SPACE</p> <p>PROPOSED DRAIN MANHOLE</p> <p>PROPOSED CATCHBASIN</p> <p>PROPOSED DRAIN LINE</p> <p>PROPOSED CABLE/TELEPHONE/ELECTRIC LINE</p> <p>PROPOSED SEWER MAIN</p> <p>PROPOSED WATER GATE</p> <p>PROPOSED WATER LINE</p> <p>PROPOSED GAS LINE</p> <p>PROPOSED PAVEMENT STRIPING</p> <p>PROPOSED PAVEMENT</p> <p>PROPOSED CURBING</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

ELECTRICAL SCHEDULE

- | | |
|---|------------------------|
| 1 | Gas Sconce |
| 2 | Gas Post Lantern |
| 3 | Electric Post Lanterns |
| 4 | Electric Sconces |
| 5 | Bollards |



Jesse M. Johnson 4/21/14
REVISIONS

**128 MAIN STREET
LIGHTING PLAN**

SITE PLAN IN
GROTON, MASS.

PREPARED FOR

128 MAIN STREET, LLC

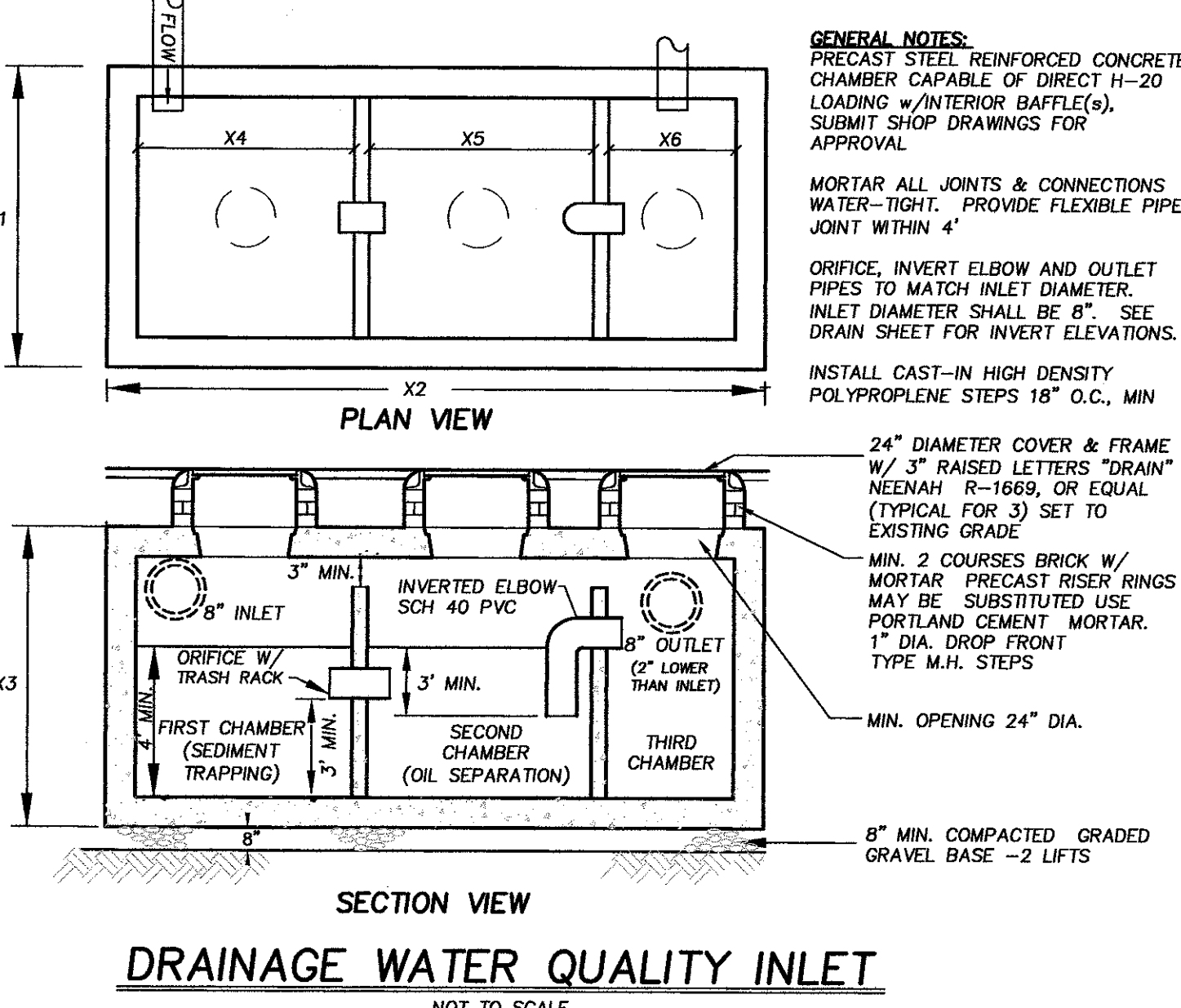
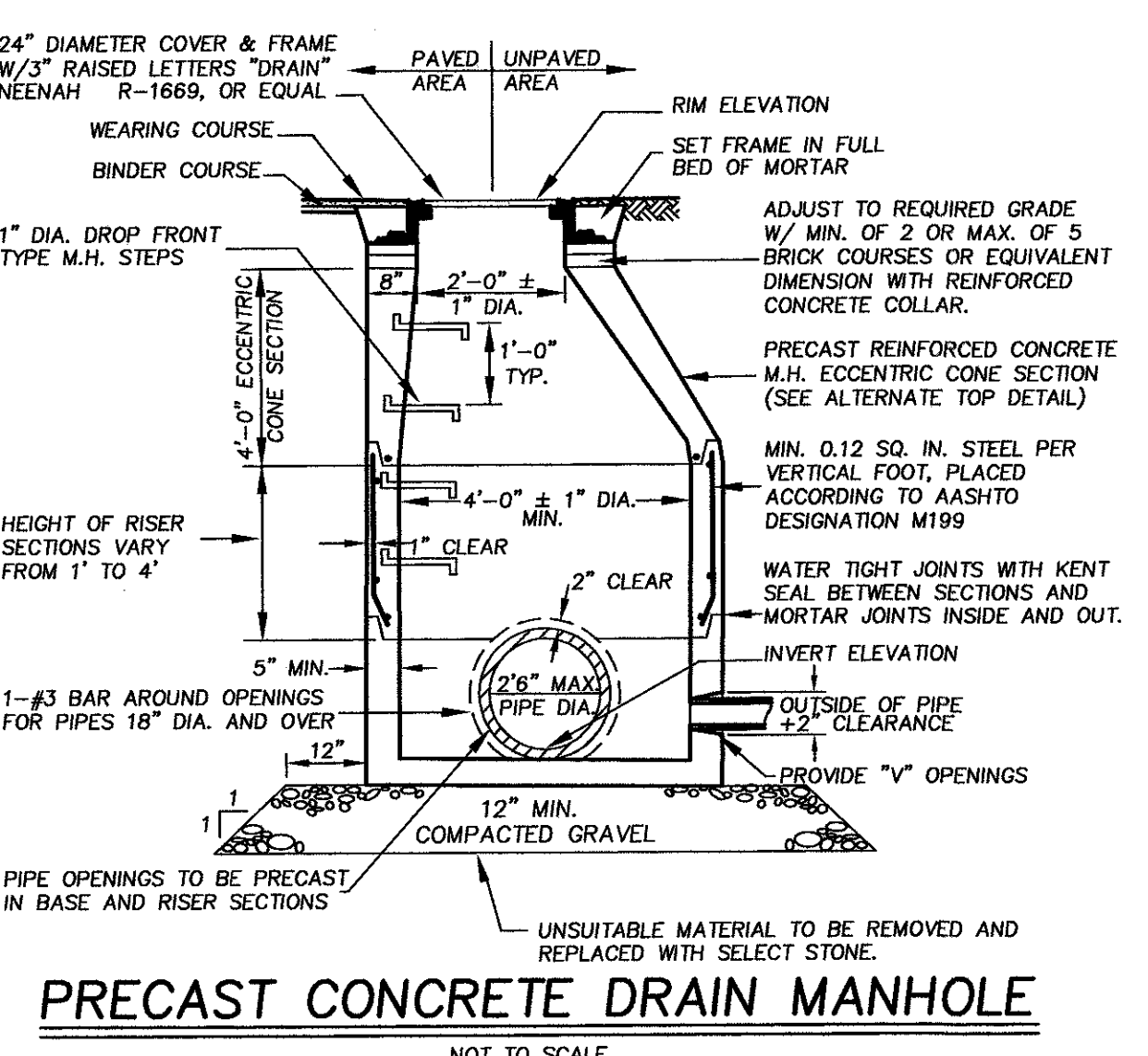
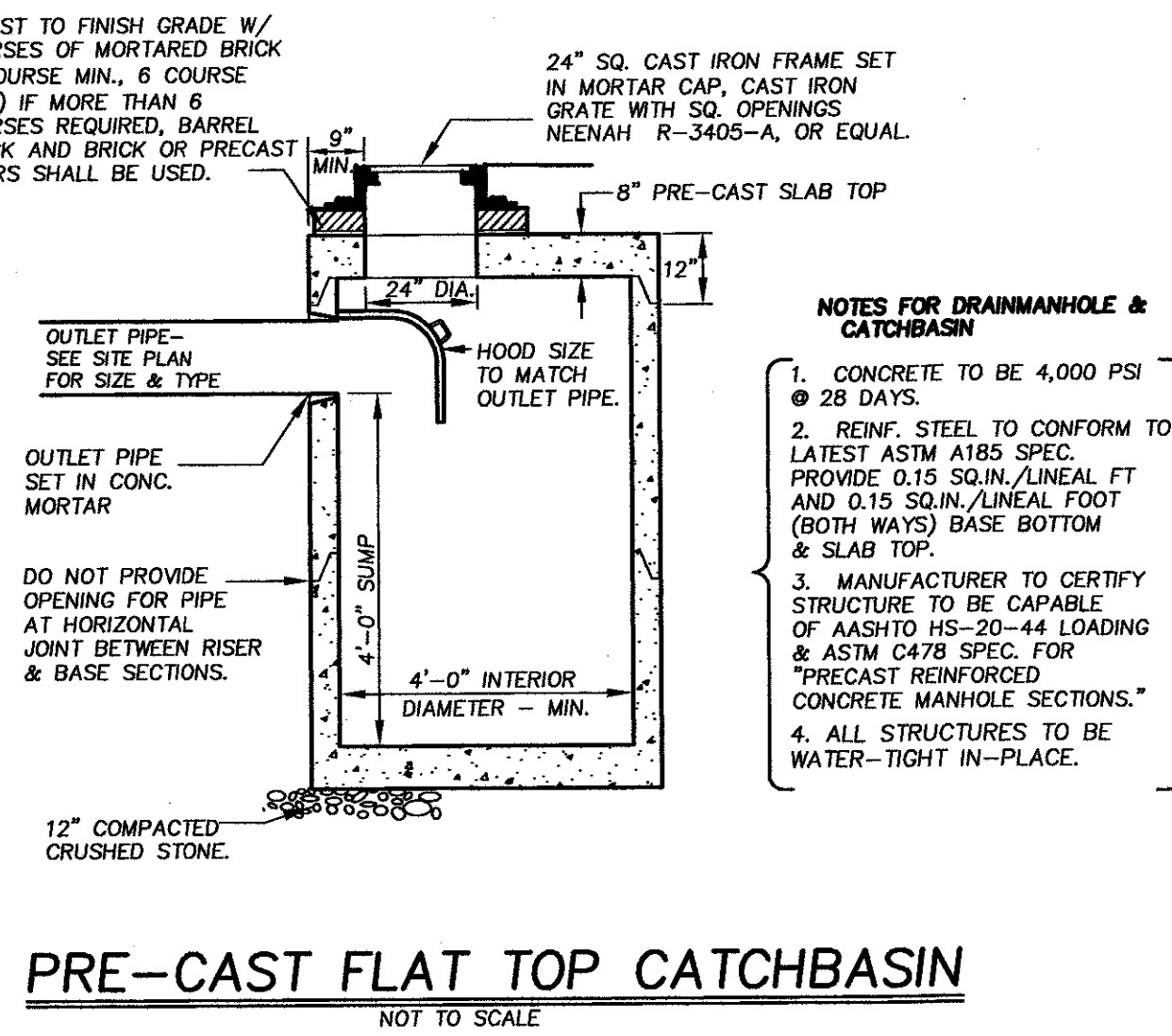
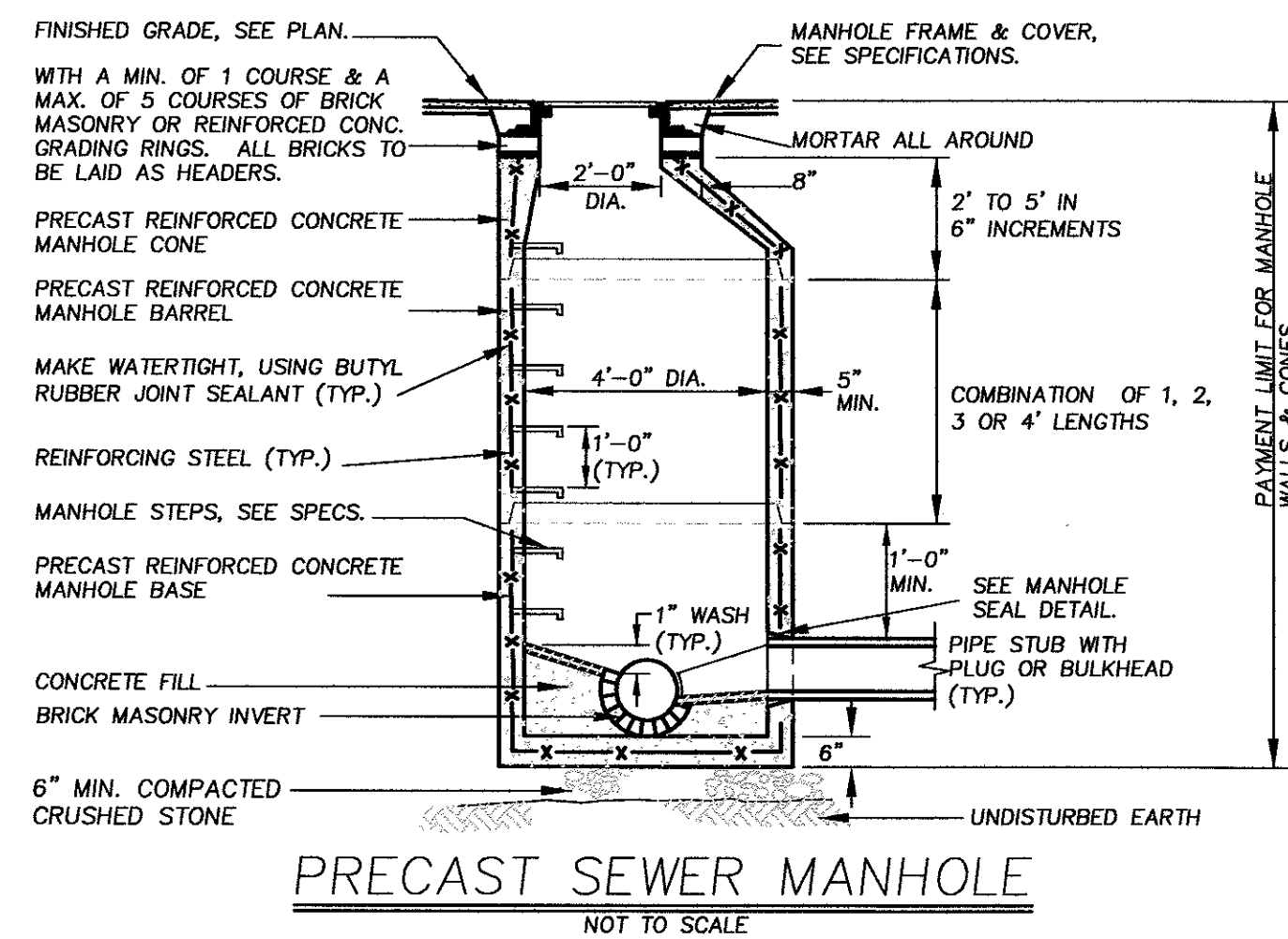
SCALE: 1" = 20'

APRIL, 2014

David E. Ross Associates, Inc.

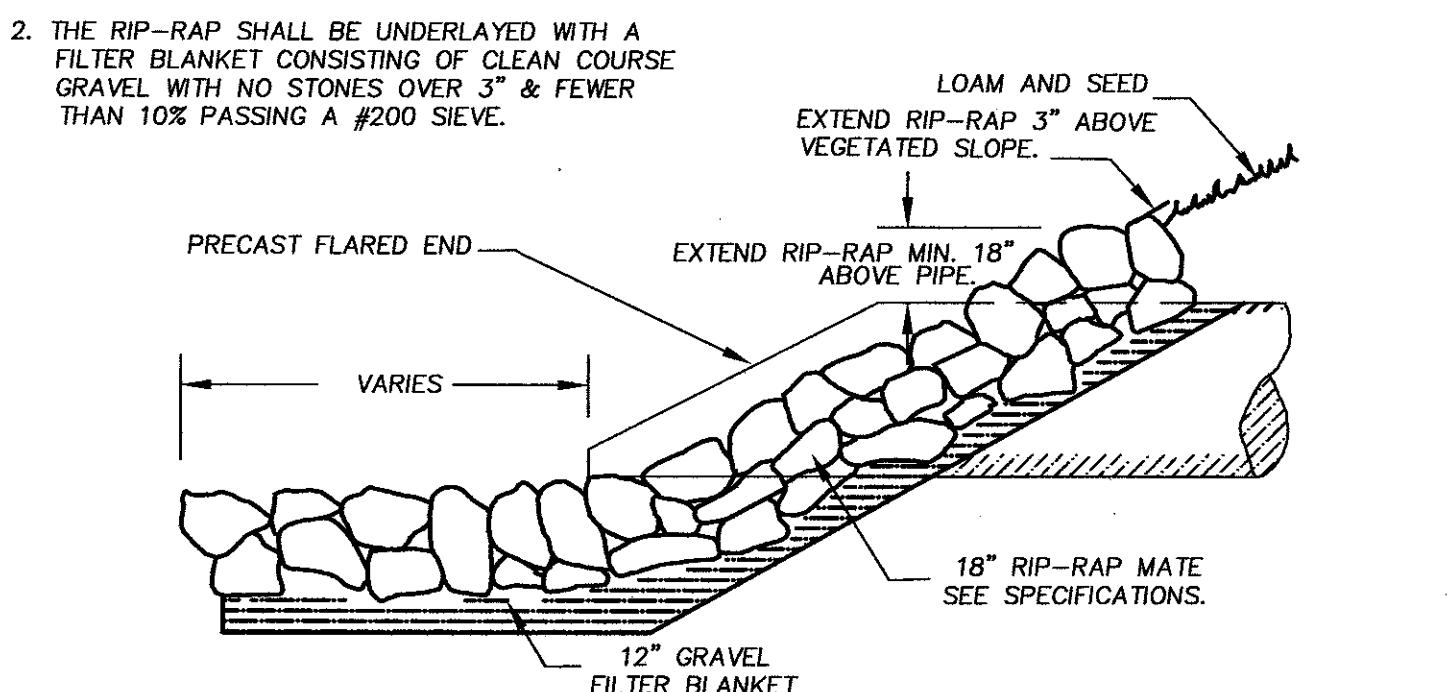
CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)

JOB NO. 29228 SHEET 8 OF 11 PLAN NO. L-12171

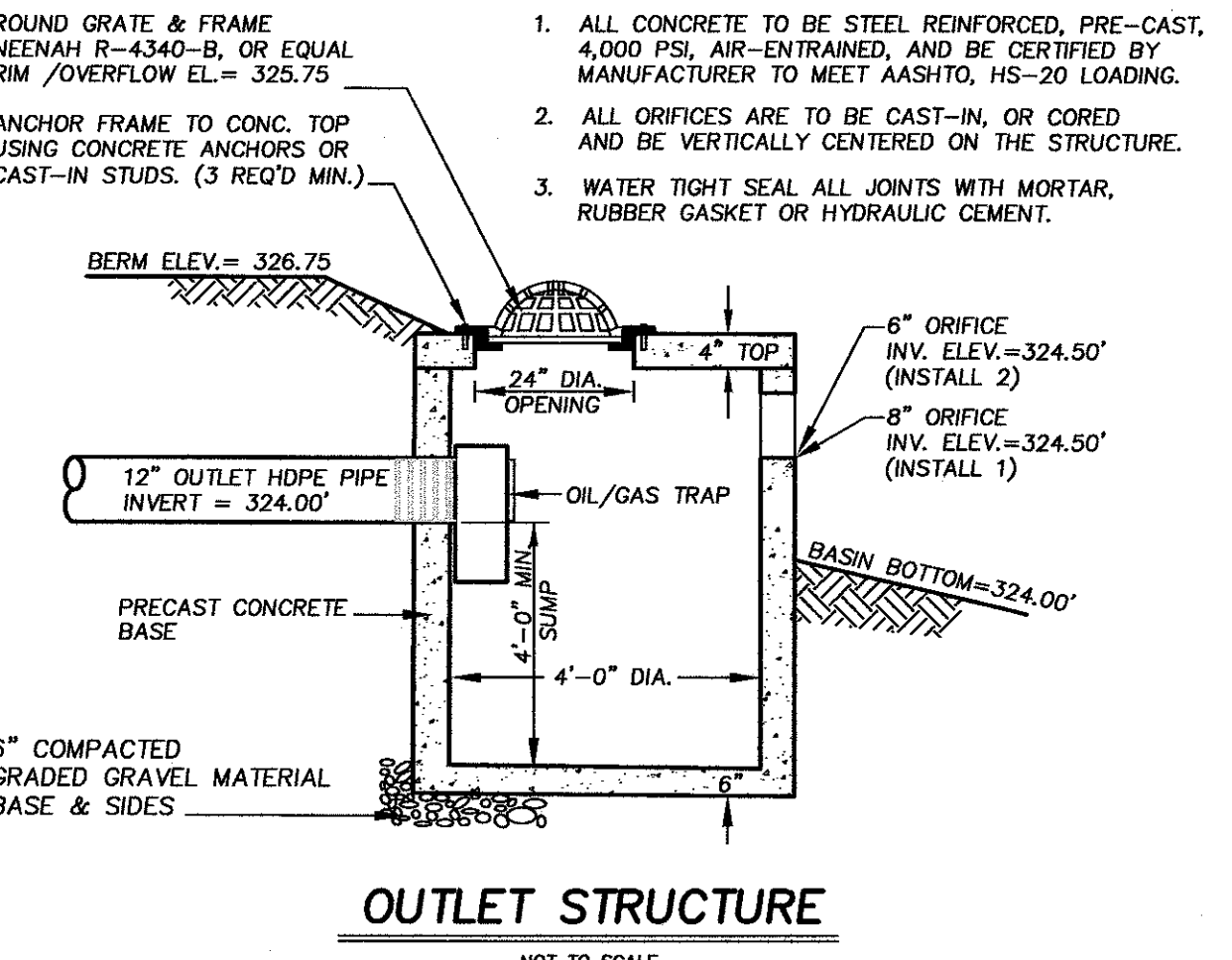


RIP-RAP SPECIFICATIONS:

- THE RIP-RAP SHALL BE COMPRISED OF DURABLE ANNUAL STONE WHICH MEETS THE FOLLOWING GRADATION REQUIREMENTS:
- THE RIP-RAP SHALL BE UNDERLAYED WITH A FILTER BLANKET CONSISTING OF CLEAN COURSE GRAVEL WITH NO STONES OVER 3" & FEWER THAN 10% PASSING A #200 SIEVE.
- THE FILTER BLANKET NEED NOT BE COMPACTED BUT SHALL BE GRADED TO A UNIFORM SURFACE WITH A MINIMUM THICKNESS OF 12".
- WHEN FLARED END IS NOT IN SWALE, MATTE SHALL EXTEND 24" ON EMBANKMENT AND 24" BEYOND WIDTH OF FLARED END FOR FULL WIDTH.
- IN SWALES, RIP-RAP TO EXTEND 18" ABOVE TOP OF FLARED END FOR LENGTH OF RIP-RAP.

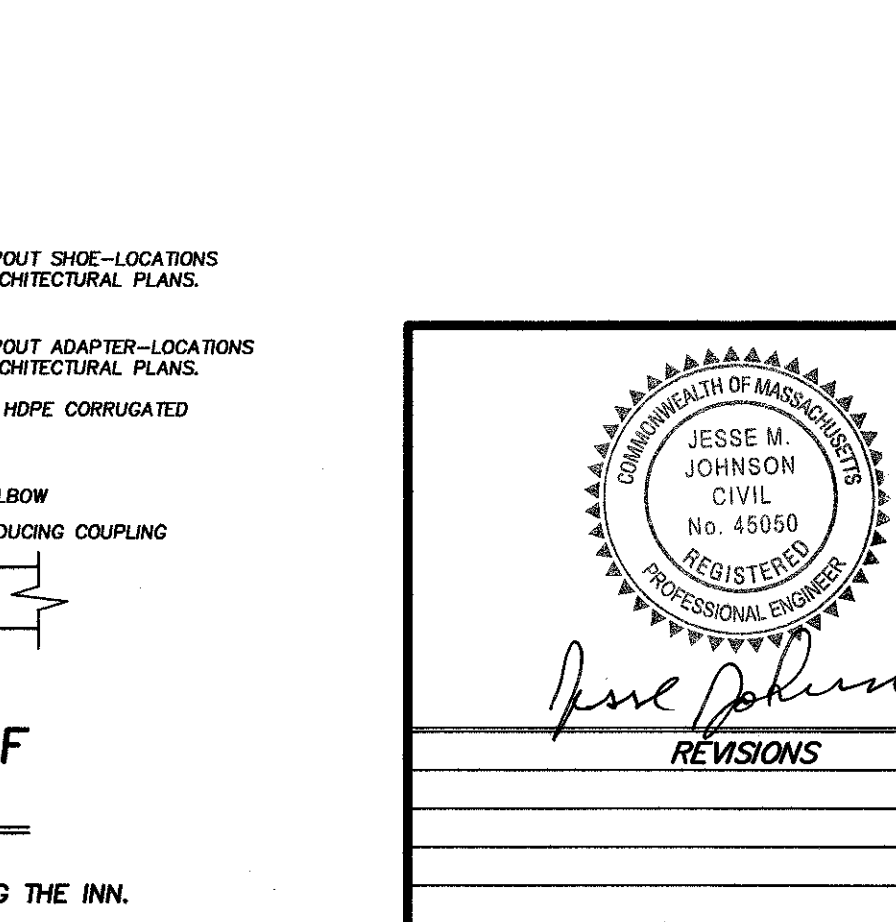
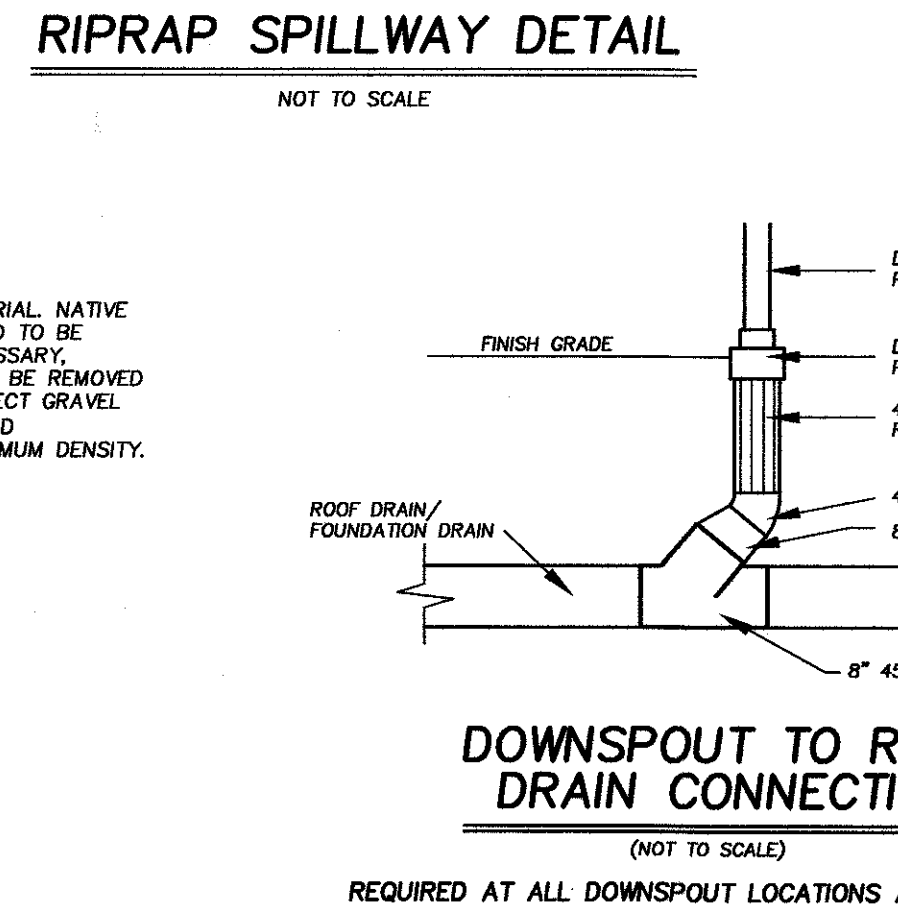
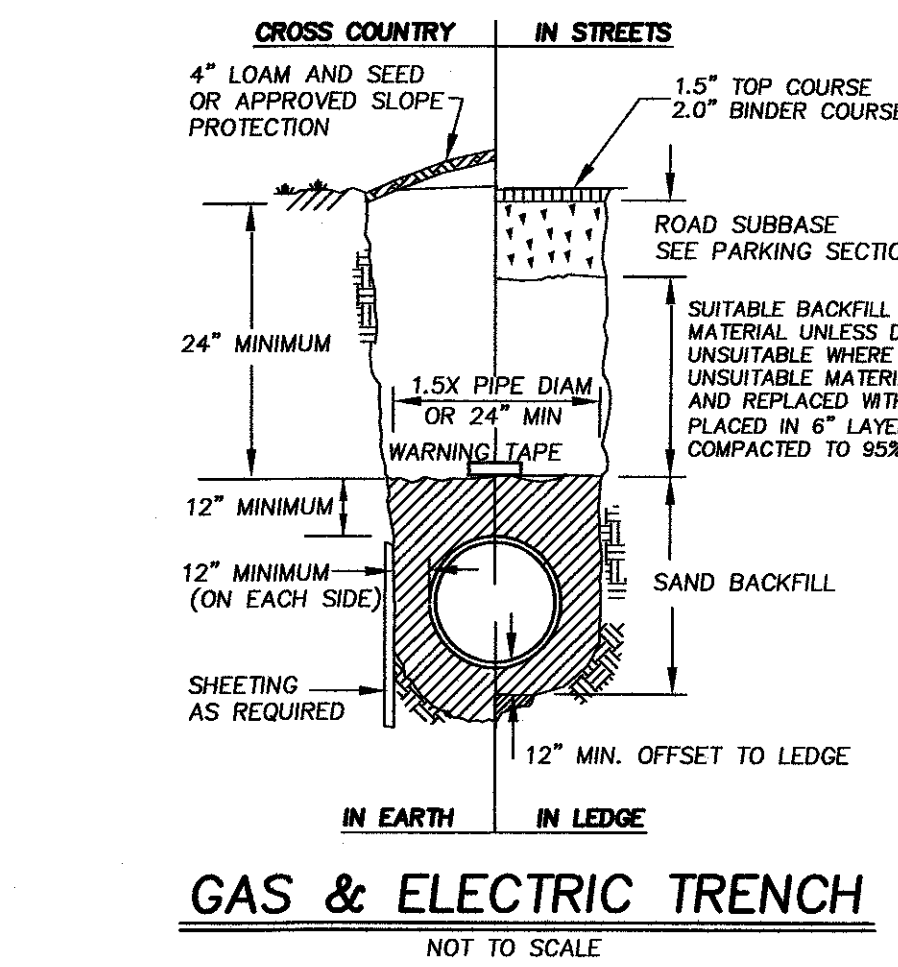
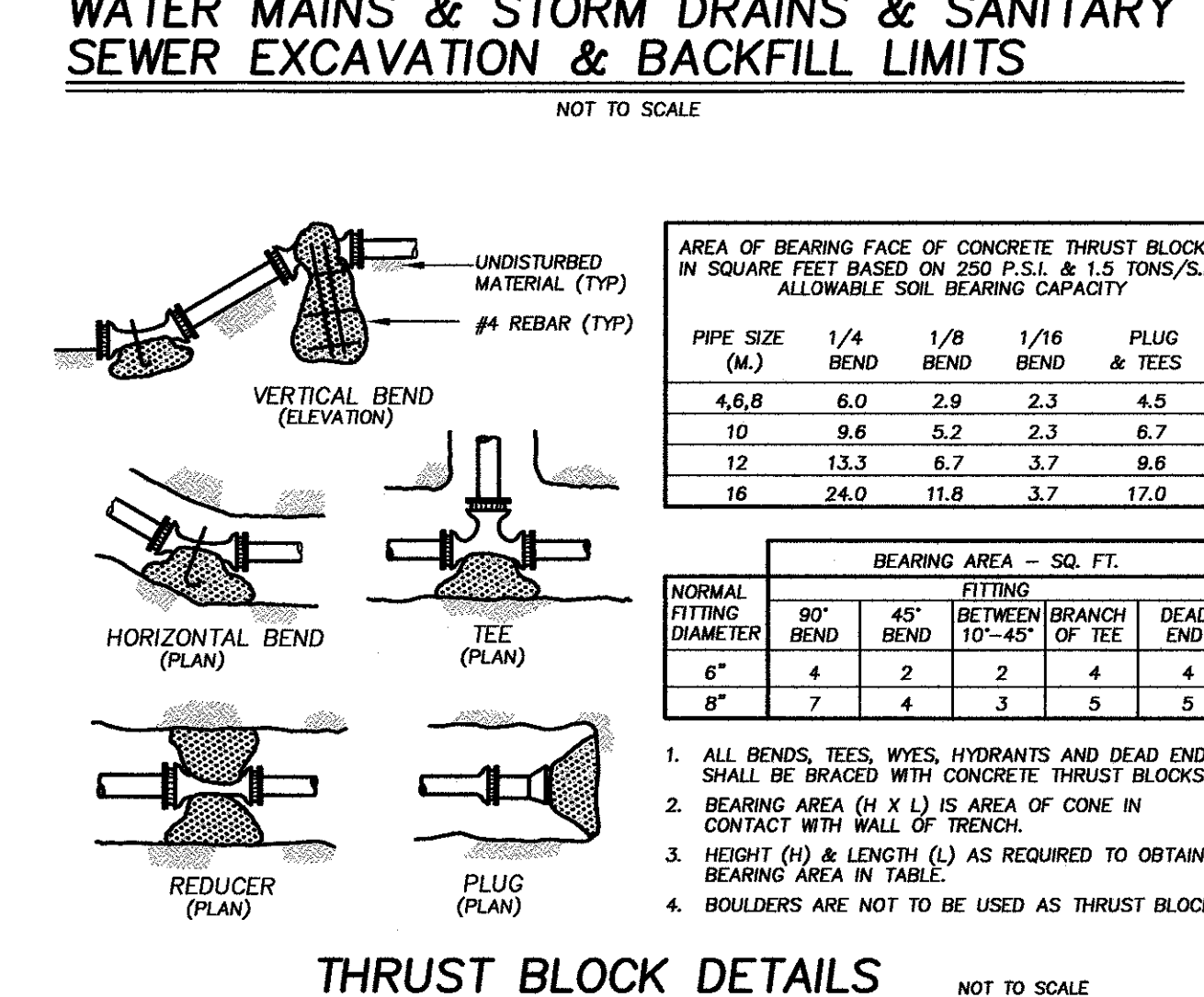
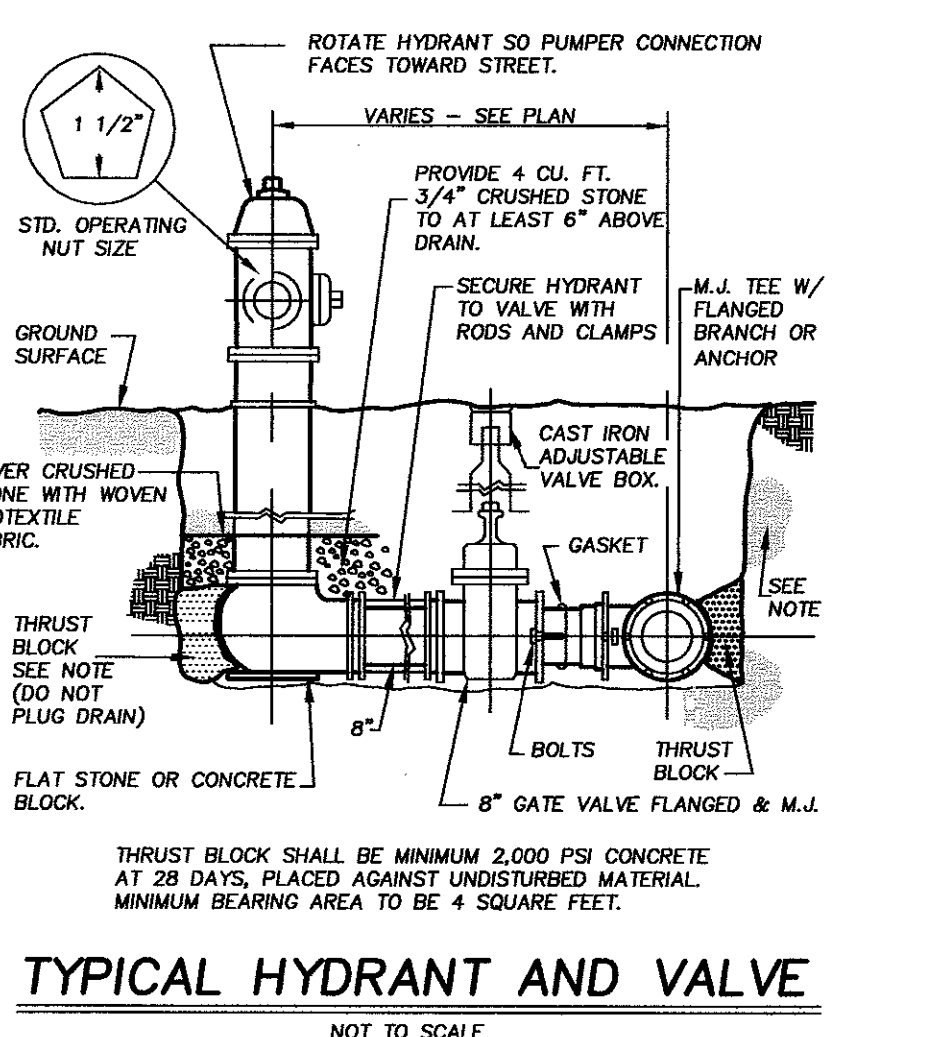
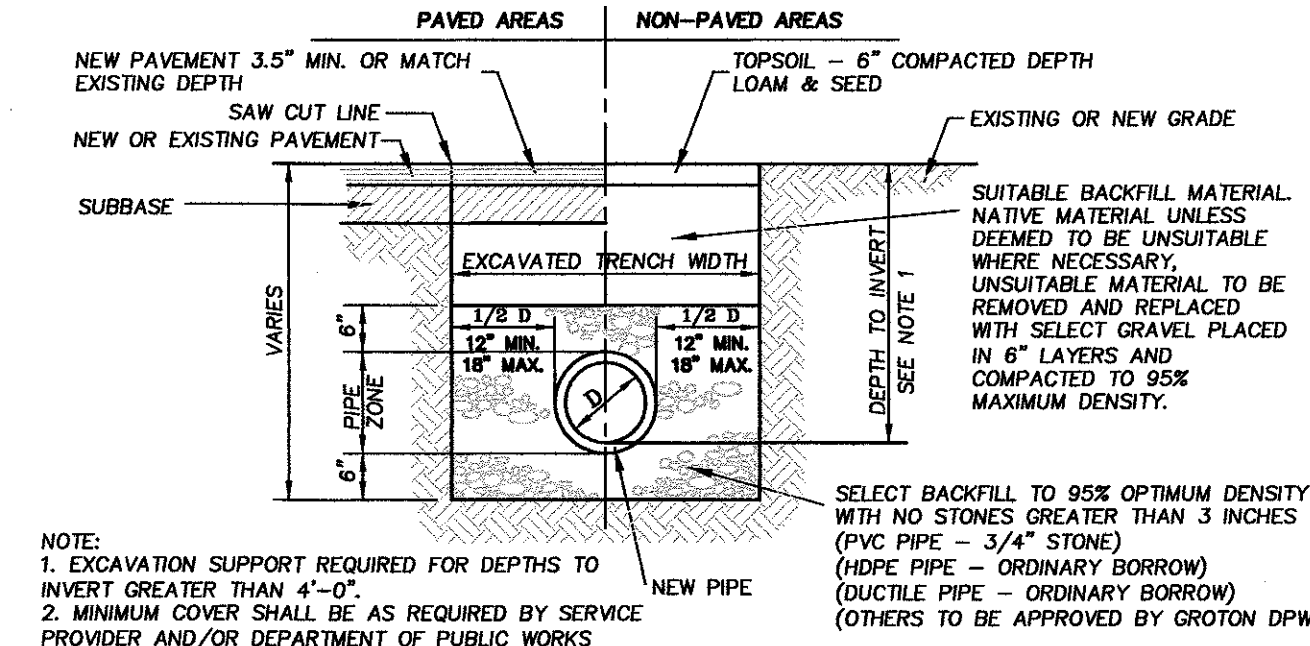
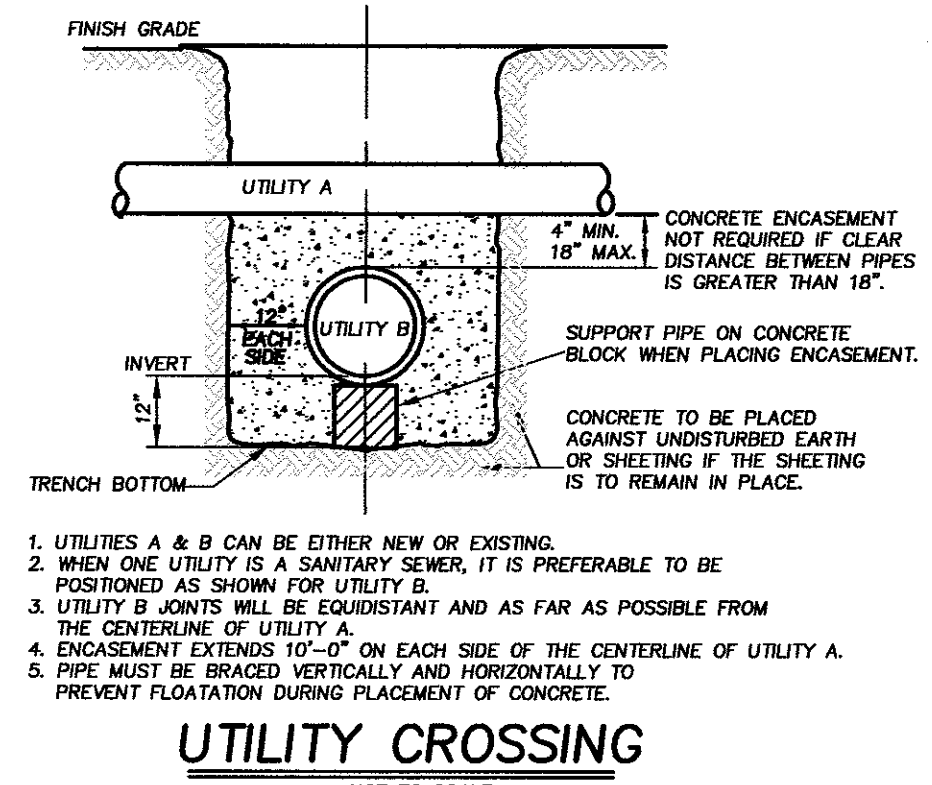
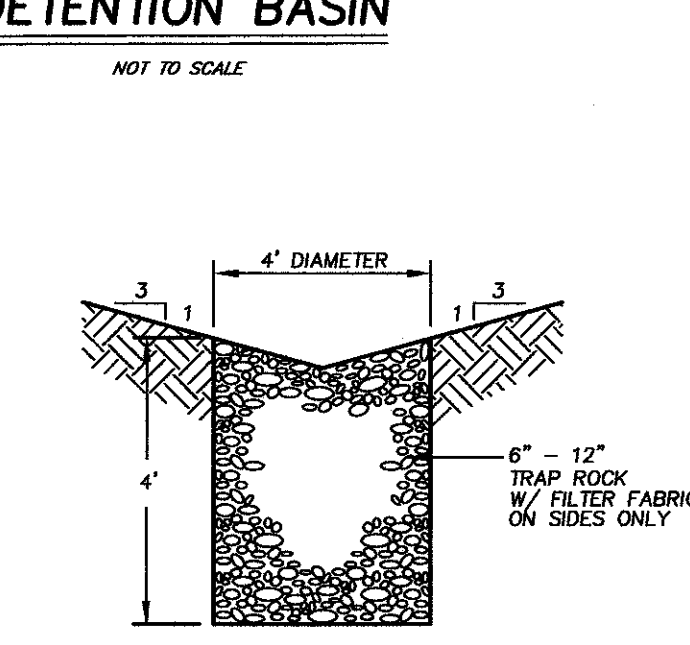
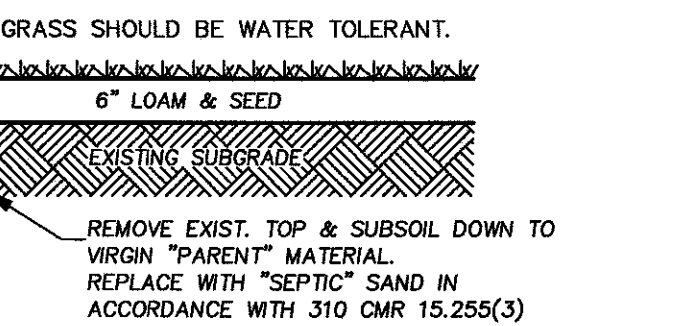
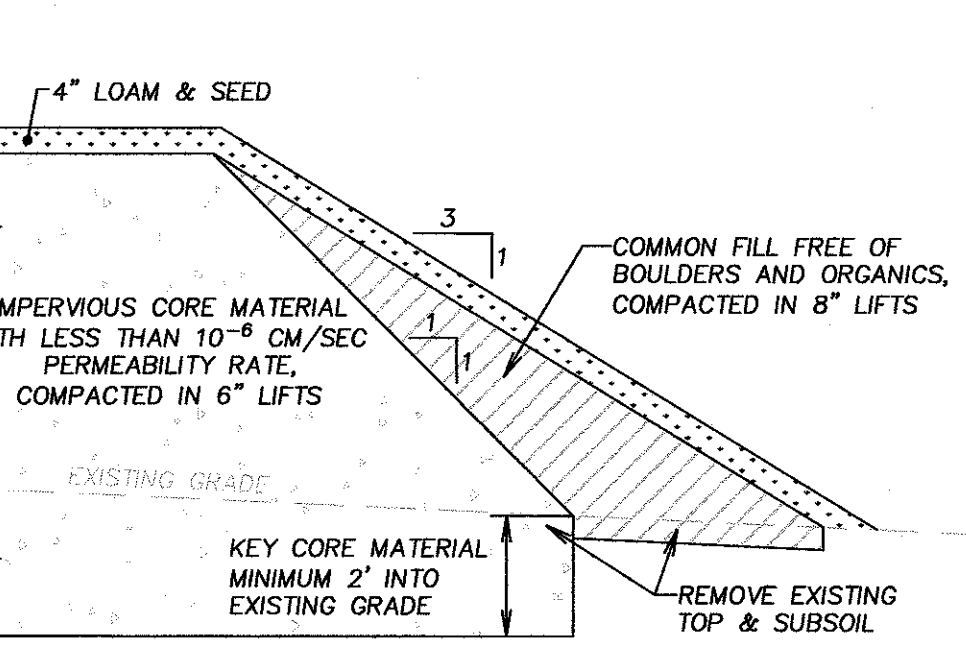
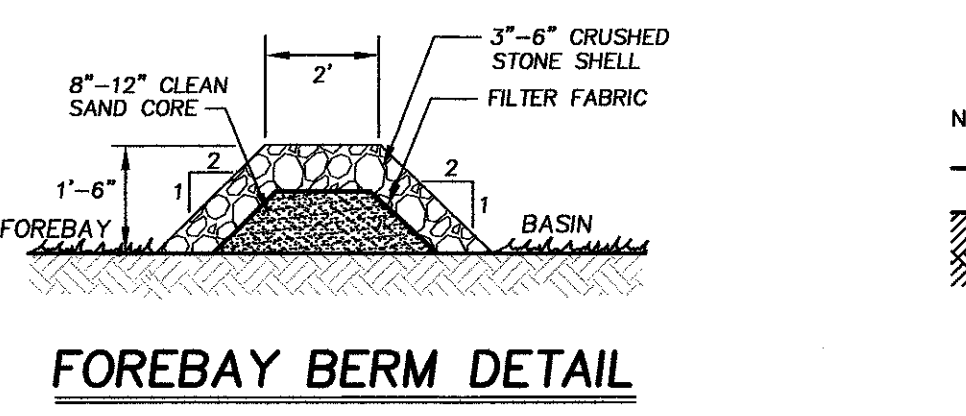
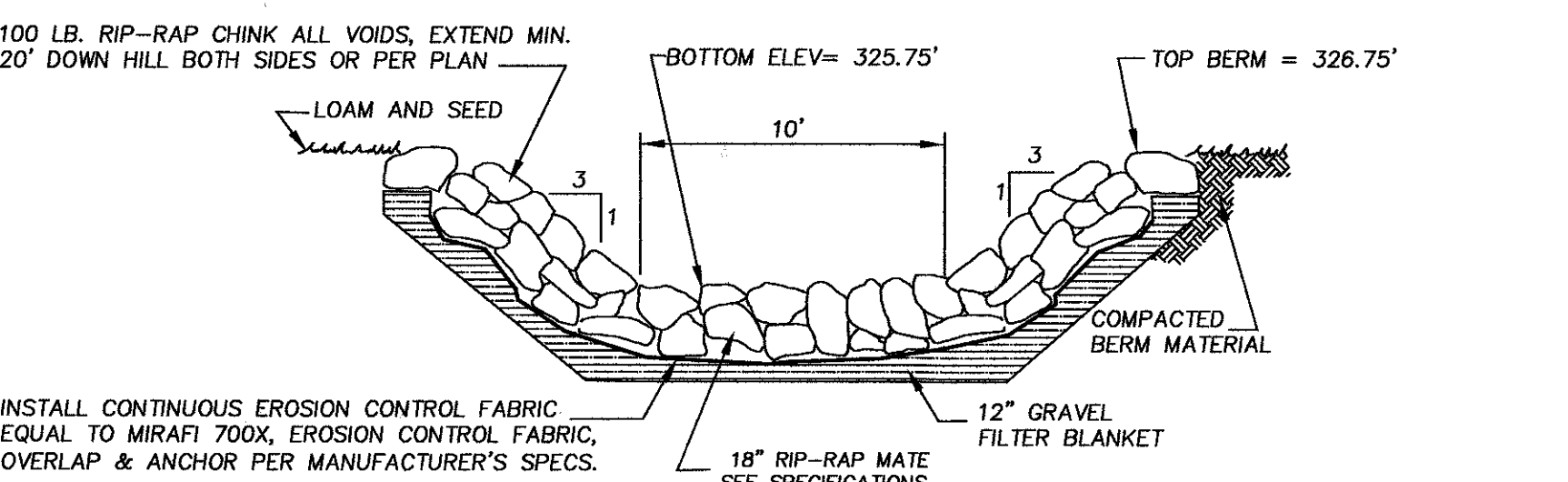


LOCATION	Do	Lo	W1	W2	d50	DEPTH
FES 8"	8"	3.5'	1.5'	5.0'	3"	7"
FES 4"	4"	2.5'	1.0'	3.5'	3"	7"
FES 12"	12"	11.5'	3.0'	14.5'	3"	7"
FES 15"	15"	11.5'	4.5'	15.5'	3"	7"



RIP-RAP SPECIFICATIONS:

- ALL STONE SHALL BE CLEAN DURABLE ANGULAR STONE MEETING THE FOLLOWING SPECIFICATIONS:
- THE RIP-RAP SHALL BE UNDERLAYED WITH A FILTER BLANKET CONSISTING OF CLEAN, COARSE GRAVEL WITH NO STONES OVER 4" IN LONGEST DIMENSION AND NO FEWER THAN 10% OF TOTAL VOLUME PASSING A #200 SIEVE.
- THE FILTER BLANKET NEED NOT BE COMPACTED, BUT SHALL BE GRADED TO A UNIFORM THICKNESS OF 12".
- THE FILTER BLANKET SHALL BE OVERLAYED WITH A STRUCTURAL/EROSION CONTROL FABRIC OF THE TYPE SPECIFIED. SUCH FABRIC SHALL BE CONTINUOUS IN LENGTHS, EITHER PARALLEL OR PERPENDICULAR TO THE SLOPE AND MUST BE UNDER ALL RIP-RAPPED SURFACES.



APPROVED
TOWN OF GROTON PLANNING BOARD

CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____

APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL LOCAL ZONING BYLAWS.

**128 MAIN STREET
SITE DETAILS PLAN**

SITE PLAN IN
GROTON, MASS.

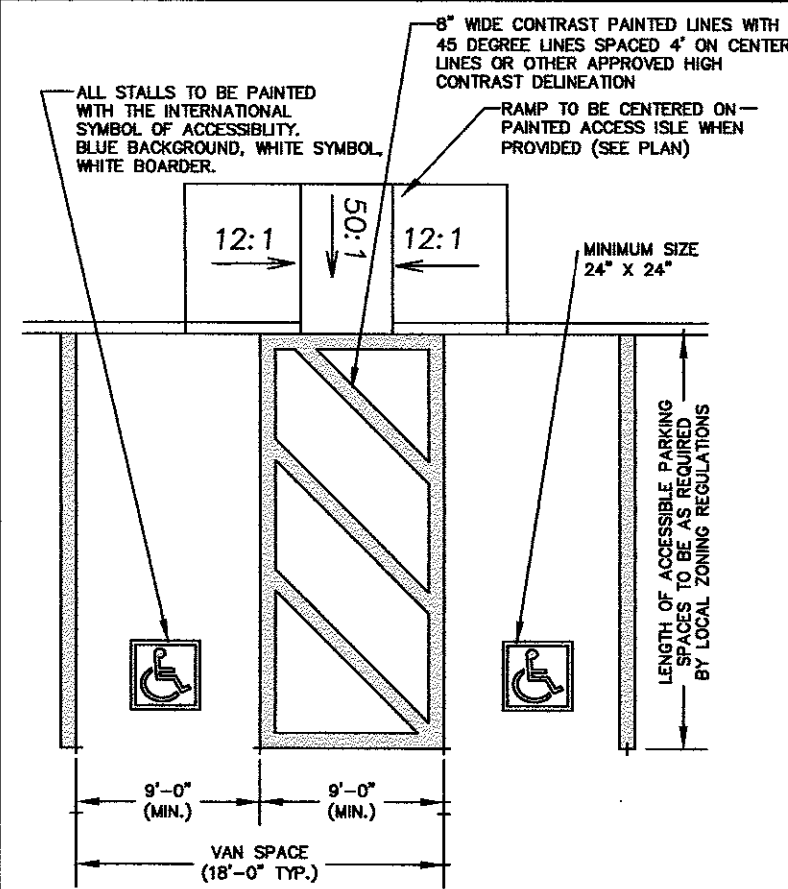
PREPARED FOR
128 MAIN STREET, LLC

SCALE: NTS APRIL, 2014

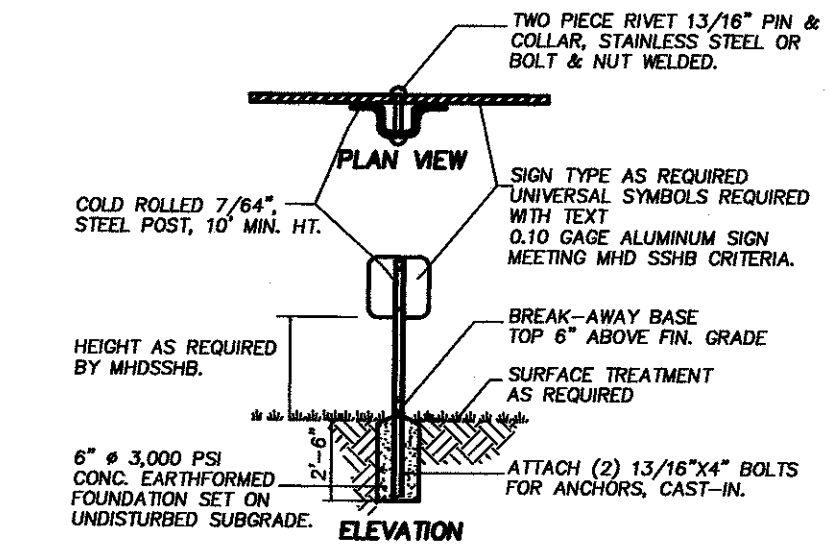
David E. Ross Associates, Inc.

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PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)

JOB NO. 29228 SHEET 9 OF 11 PLAN NO. L-12171



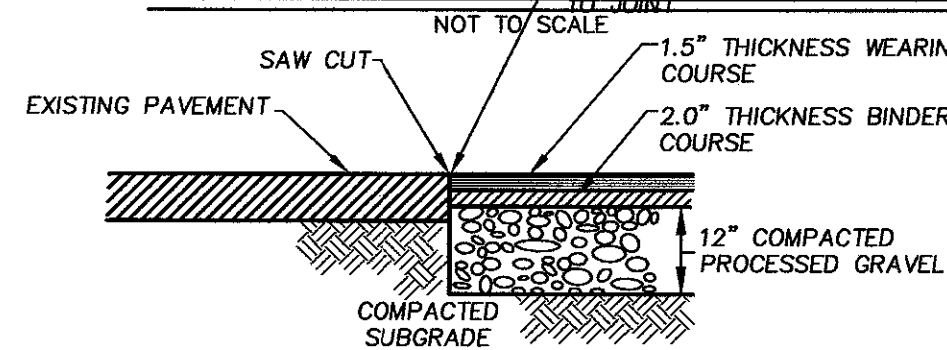
- NOTES:
- 1) PARKING SPACES SHALL MEET THE REQUIREMENTS OF THE CODE OF MASSACHUSETTS REGULATIONS ARCHITECTURAL ACCESS BOARD - 521CMR.
 - 2) PARKING SPACES AND ACCESS ISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 (2%) IN ALL DIRECTIONS.
 - 3) ACCESS ISLES ADJACENT TO ACCESSIBLE PARKING SPACES SHALL BE 5'-0" WIDE MINIMUM, EXCEPT ADJACENT VAN ACCESSIBLE SPACES, THE ACCESS ISLE SHALL BE A MINIMUM 8'-0" WIDE MINIMUM. A MINIMUM OF ONE VAN SPACE SHALL BE PROVIDED PER SITE.
 - 4) TWO ACCESSIBLE SPACES MAY SHARE A COMMON ACCESS ISLE.
 - 5) A SIGN, IDENTIFYING ACCESSIBLE PARKING SPACES AS RESERVED, SHALL BE LOCATED AT THE HEAD OF EACH SPACE AND NO MORE THAN 10'-0" AWAY. THE SIGN(S) SHALL BE WALL MOUNTED IF NECESSARY. THE SIGN SHALL BE AS SPECIFIED BY THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), R28-31 OR APPROVED EQUAL.
 - 6) SIGNS AT THE HEAD OF VAN ACCESSIBLE SPACES SHALL INCLUDE THE WORDS: VAN ACCESSIBLE.
 - 7) DETECTABLE WARNING PANELS SHALL BE INSTALLED AT THE BASE OF ALL RAMP.



TYPICAL SITE SIGN

- NOT TO SCALE
1. ALL SURFACES TO BE PRIMED & PAINTED MEETING MASS. HIGHWAY DEPT. STANDARDS.
 2. SIGN CONSTRUCTION & MATERIALS TO CONFORM TO MFDSSHB, SECTION 646, AND M8.18.5.

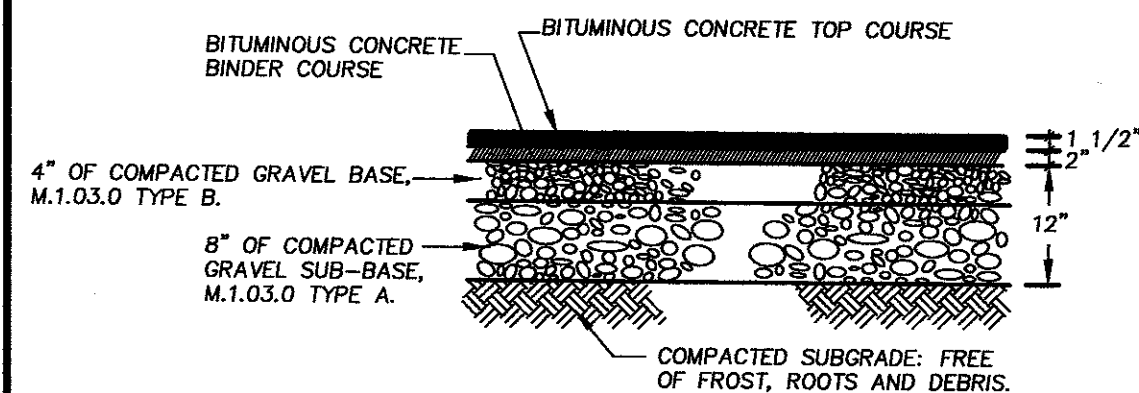
ACCESSIBLE PARKING SPACES



NOTE: WHERE THE WIDTH OF THE NEW PAVEMENT IS LESS THAN 4 FEET, THE PROCESSED GRAVEL SUB BASE SHALL BE REPLACED WITH HIGH EARLY STRENGTH CEMENT CONCRETE.

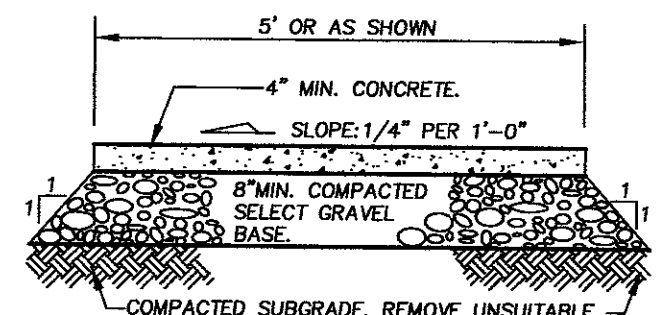
TRANSITION AT EXISTING PAVEMENT

NOT TO SCALE



BITUMINOUS CONCRETE DRIVE & PARKING

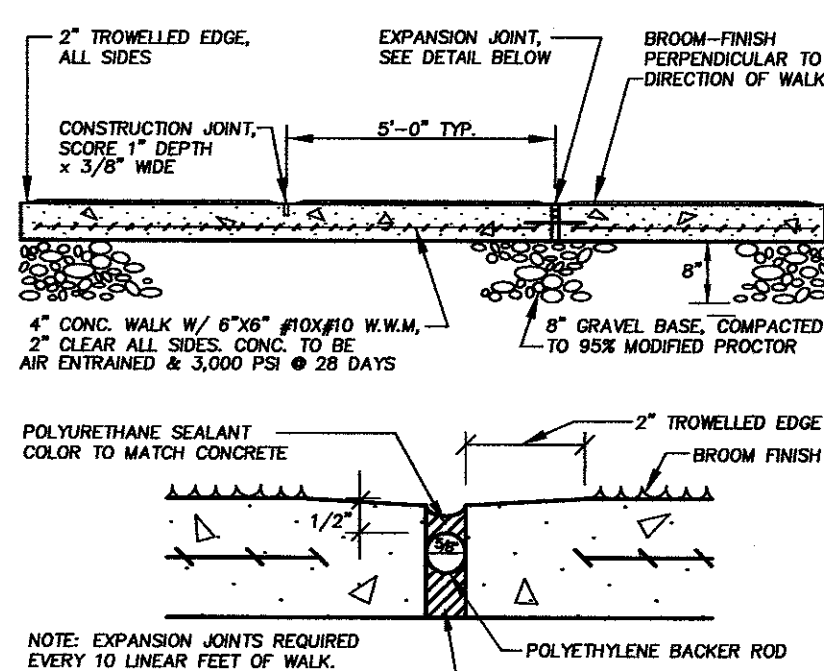
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CONTRACTOR SHALL INSTALL AN EXPANSION JOINT AT ALL BUILDING AND ALL SIDEWALK INTERSECTIONS OR AT A START OF A CURVED SECTIONS AND SHALL INSTALL LATERAL CONTROL JOINTS AS REQUIRED (5'-0" TYP. SPACING). SLOPE SIDEWALK AS SHOWN ON PLANS (MIN. SLOPE=1%). RAMP MEETING HANDICAP STANDARDS SHALL BE BUILT AT THE INTERSECTIONS WITH ALL PROPOSED AND EXISTING ROADS, DRIVES & PARKING AREAS. RUNNING SLOPE SHALL BE LESS THAN 5% CROSS SLOPES SHALL BE LESS THAN 2%.

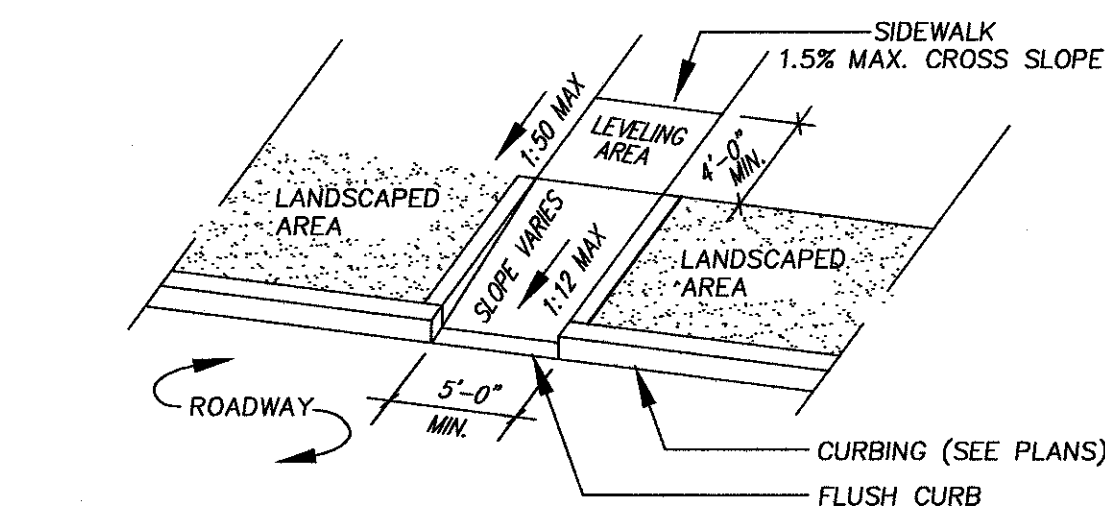
CONCRETE SIDEWALK

NOT TO SCALE



CONCRETE WALK & PADS

NOT TO SCALE

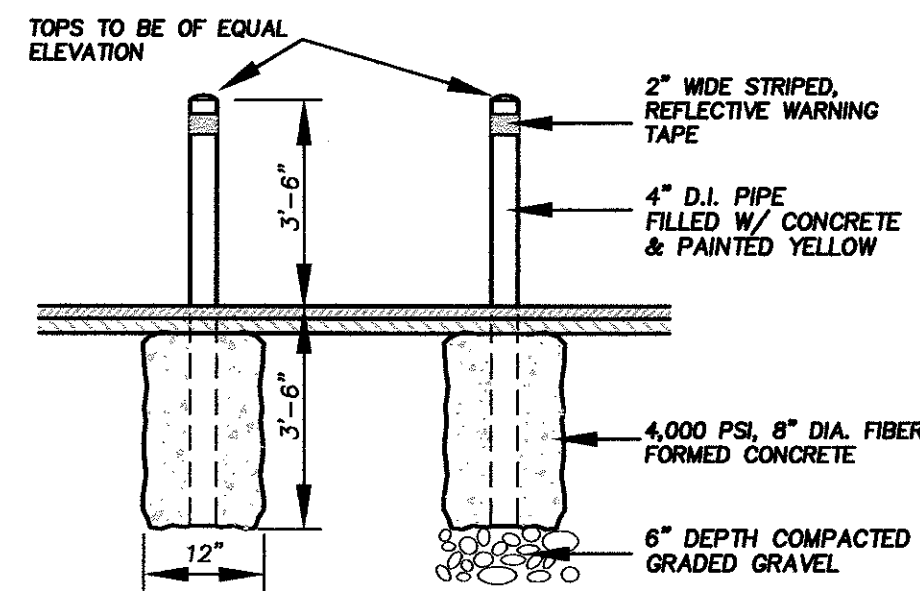


NOTES:

1. INSTALL A DETECTABLE WARNING PANEL AT THE BASE OF EACH RAMP.
2. THE DETECTABLE WARNING PANEL SHALL BE LOCATED NOT LESS THAN 6" OR MORE THAN 24" FROM THE ROADWAY EDGE (GUTTER LINE). TRUNCATED DOMES TO BE ALIGNED WITH DIRECTION OF TRAVEL.
3. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK; I.E., DEPTH OF SURFACE AND FOUNDATION.
4. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
5. PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
6. PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.

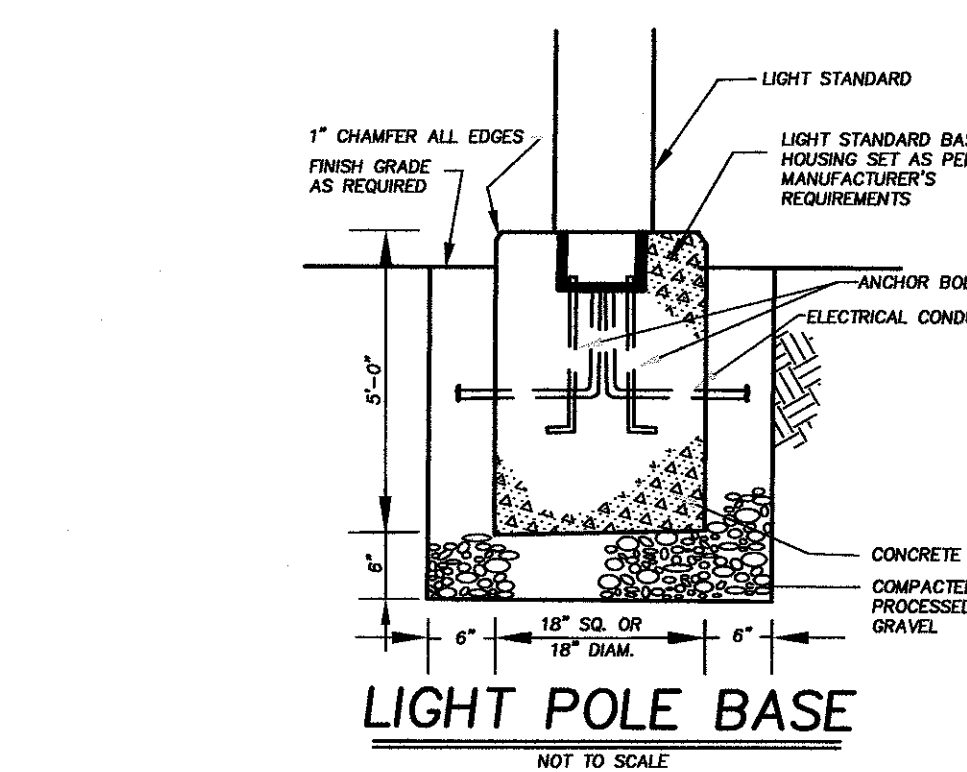
ACCESSIBLE RAMP DETAILS

NOT TO SCALE



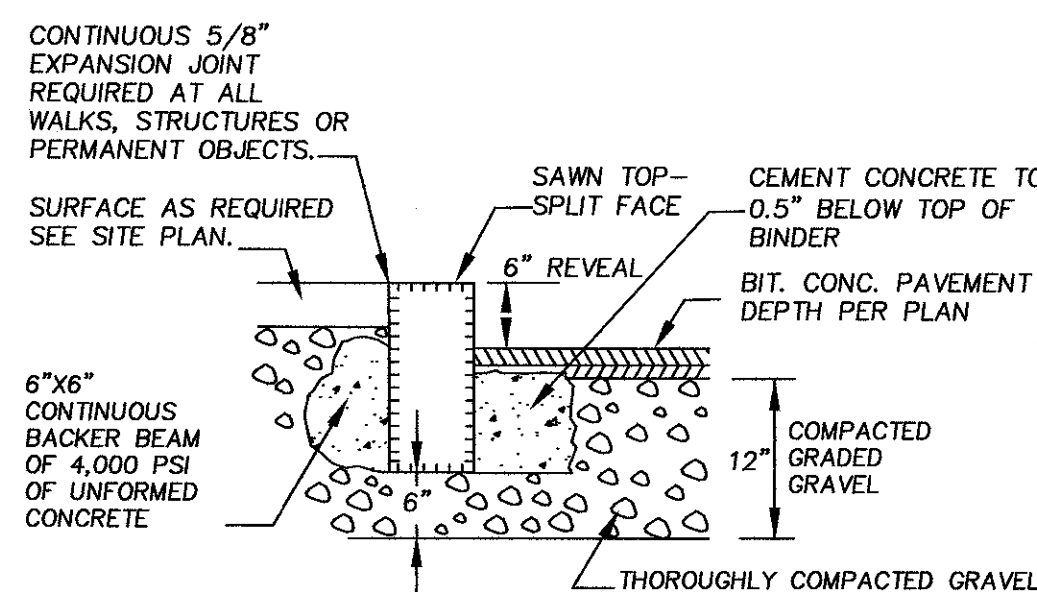
BOLLARD GUARD

NOT TO SCALE



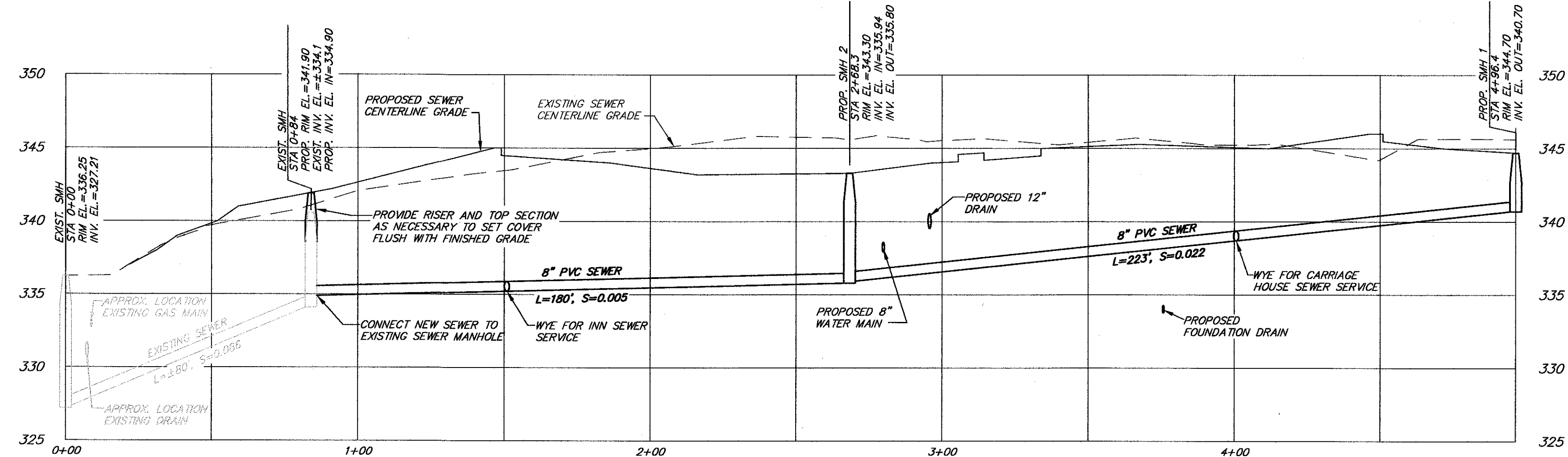
LIGHT POLE BASE

NOT TO SCALE



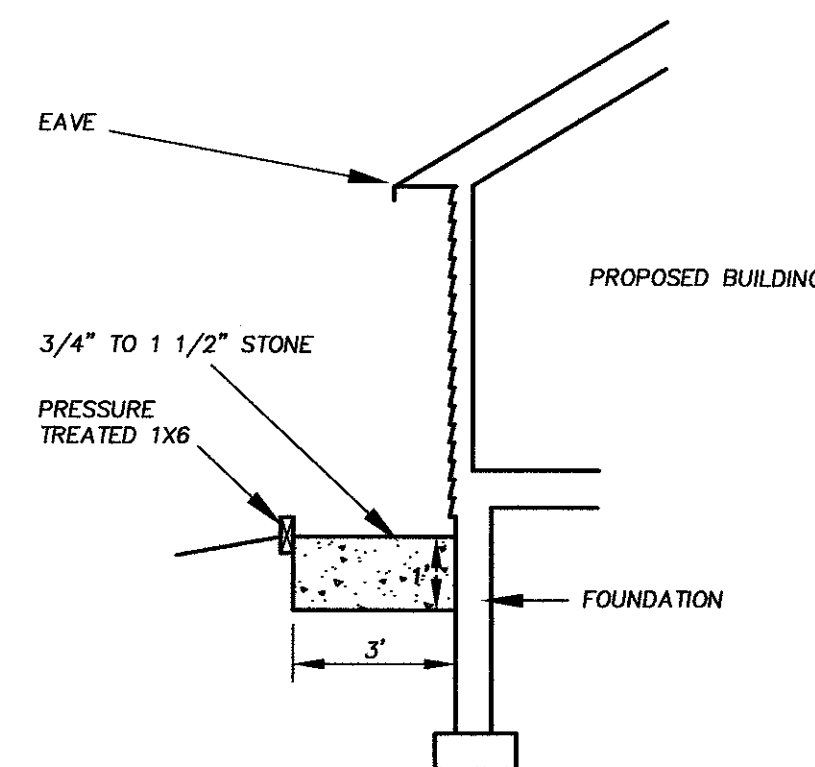
VERTICAL GRANITE CURB

NOT TO SCALE



PROPOSED SEWER CENTERLINE PROFILE

SCALE: 1"=30' H, 1"=6' V



ROOF DRAINAGE RECHARGE TRENCH

(NOT TO SCALE)

REQUIRED RECHARGE VOLUME & STORAGE

BUILDING	CUFT. STORAGE	LN.FT. TRENCH
CARRIAGE HSE	31	26
TRIPLEX	62	52
DUPLEX	42	35
SINGLE	28	24
FARMHOUSE	104	87
COTTAGE	18	15

NOTE: ALL CALCULATIONS BASED OFF PROPOSED ROOF AREA PER BUILDING. ASSUMES 3' x 1' TRENCH AND 40% Voids.

APPROVED TOWN OF GROTON PLANNING BOARD

CHAIRMAN _____ DATE _____

SECRETARY _____ DATE _____

APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL LOCAL ZONING BYLAWS.

128 MAIN STREET SITE DETAILS PLAN

SITE PLAN IN GROTON, MASS.

PREPARED FOR

128 MAIN STREET, LLC

SCALE: NTS

APRIL, 2014

David E. Ross Associates, Inc.

CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)

JOB NO. 29228 SHEET 10 OF 11 PLAN NO. L-12171



4/21/14

REVISIONS

STORM WATER POLLUTION PREVENTION AND EROSION & SEDIMENTATION CONTROL PLAN

GENERAL

1. THIS PLAN IS INTENDED TO MEET THE REQUIREMENTS OF THE NATIONAL STORMWATER POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) IN SECTION 402 OF THE FEDERAL CLEAN WATER ACT. THE STORMWATER POLLUTION PREVENTION AND EROSION & SEDIMENTATION CONTROL PLAN SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. IT IS ANTICIPATED THAT THE SITE AS DESIGNED WILL MEET THE CRITERIA FOR A NPDES GENERAL PERMIT. THE SUBMISSION OF THE NPDES NOTICE OF INTENT (NPDES NOI), THIS PLAN AND SUPPORTING DOCUMENTATION MUST BE POSTMARKED A MINIMUM OF TWO (2) DAYS PRIOR TO THE INITIATION OF ANY SITE DISTURBANCE OR CONSTRUCTION.
3. THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE OWNER AND CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION ON AND OFF-SITE. THIS PLAN IS INTENDED TO ALLOW ANY ORDERS OF CONDITIONS TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF, UPON ISSUANCE OF AN ORDER OF CONDITIONS (IF APPLICABLE), ANY ITEMS SPECIFIED HEREIN ARE IN CONFLICT WITH THE ORDERS OF CONDITIONS, SAID ORDERS OF CONDITIONS SHALL SUPERSEDE THE REQUIREMENTS SPECIFIED ON THIS PLAN.

NPDES RECORD REQUIREMENTS:

1. A COPY OF THE NPDES SUBMITTAL AND THIS PLAN MUST BE KEPT ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE MADE AVAILABLE TO ALL INTERESTED PARTIES.
2. RECORDS MUST BE MAINTAINED BY THE PERMITEE FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF STABILIZATION OF THE SITE. STABILIZATION OCCURS WHEN THE SITE HAS OVER 70% VEGETATIVE GROWTH AND/OR MECHANICAL STABILIZATION THROUGHOUT.

NPDES INSPECTION REQUIREMENTS:

1. ALL INSPECTIONS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL, WHO SHALL PRODUCE WRITTEN QUANTITATIVE AND QUALITATIVE REPORTS ON THE METHODS, SUITABILITY OR STRUCTURES, AND GENERAL CONSTRUCTION.
2. INSPECTIONS ARE REQUIRED DURING SITE ALTERATIONS A MINIMUM OF ONCE EVERY SEVEN (7) DAYS WHILE SURFACES ARE UNSTABILIZED.
3. INSPECTIONS ARE REQUIRED WITHIN 24 HOURS OF STORMS WHICH PRODUCE 0.5" OF PRECIPITATION OR GREATER.
4. WHEN THE SITE IS FULLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT MONTHLY INTERVALS FOR A PERIOD OF THREE (3) YEARS.

EROSION CONTROL MEASURES:

1. THE CONTRACTOR AND PROPERTY OWNER ARE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS AND ANY CONDITIONS ISSUED BY PERMITTING AUTHORITIES.
2. THE CONTRACTOR SHALL LIMIT THE EXTENT OF DISTURBANCE AND STABILIZE SURFACES AS SOON AS POSSIBLE. THE CONTRACTOR SHALL LIMIT THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA TO THE WORK SITE AND DRAINAGE STRUCTURES.
3. THE EXISTING SOIL CONDITIONS PROVIDE RUNOFF FROM AREAS WITH EROSION POTENTIAL. THE CONTRACTOR MUST ANTICIPATE HEAVY RUNOFF DURING ANY SPRING CONSTRUCTION OR DURING AND AFTER ANY INCLEMENT WEATHER.
4. THE CONTRACTOR MAY NEED TO CONSTRUCT TEMPORARY DIVERSION SWALES AND SETTLING BASINS IN AREAS OF FUTURE CONSTRUCTION.
5. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 14 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE HAS CEASED OR IS TEMPORARILY HALTED UNLESS ADDITIONAL CONSTRUCTION IS INTENDED TO BE INITIATED WITHIN 21 DAYS.
6. THE CONTRACTOR SHALL REGULARLY INSPECT, MAINTAIN AND REPAIR ALL EROSION CONTROL DEVICES ON-SITE.
7. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER SENSITIVE AREAS (OFF-SITE AREAS AND DRAINAGE SYSTEMS). ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS, FILTERED CATCHBASIN INLETS AND EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

GENERAL CONSTRUCTION REQUIREMENTS:

1. ANY REFUELING OF CONSTRUCTION VEHICLES AND EQUIPMENT SHALL TAKE PLACE ON PAVED AREAS AND SHALL NOT BE CONDUCTED IN PROXIMITY TO CATCHBASINS & LAWN AREAS.
2. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED.
3. NO MATERIALS SHALL BE DISPOSED OF INTO THE EXISTING OR PROPOSED DRAINAGE SYSTEMS. ALL CONTRACTORS, INCLUDING: CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH-WATER WILL DRAIN DIRECTLY TO DRAINAGE SYSTEMS.
4. CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE STREET SWEEPING OF ALL PAVED SURFACES WITHIN THE SITE AND OFF-SITE AREAS THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.
5. ALL SITE WORK SHALL BE STABILIZED AT THE END OF THE WORK DAY OR PRIOR TO ANTICIPATED CONDITIONS WHICH COULD CAUSE EROSION OR AIR-BORNE SEDIMENT PROBLEMS (I.E., RAIN, HIGH WINDS, EXPOSED SURFACES OR STEEP SLOPES).
6. SITE OPERATIONS IN THE AREA OF DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER TO MAINTAIN OR CREATE GRADES AND SURFACES WHICH SLOPE AWAY FROM PUBLIC STREETS, PRIVATE DRIVES AND ABUTTING PROPERTIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THAT PUBLIC STREETS, PRIVATE DRIVES AND ABUTTING PROPERTIES ARE KEPT CLEAR OF CONSTRUCTION RELATED DEBRIS. ALL MATERIALS TRACKED ONTO SAID STREETS, DRIVES & PROPERTIES SHALL BE PROMPTLY REMOVED.
8. THE EMERGENCY RESPONSE CONTACTS FOR THIS PROJECT ARE:
RICH COOPER, 617-312-0478 (CELL)

PRE-CONSTRUCTION:

1. AN EROSION CONTROL BARRIER (SILT FENCE, HAY BALE DIKE OR FILTER SOCK BARRIER) SHALL BE INSTALLED TO LIMIT THE AREA OF DISTURBANCE OR AS SHOWN ON THE PLAN. THIS IS ESPECIALLY IMPORTANT ON PORTIONS OF THE SITE ADJACENT TO SENSITIVE AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED.
2. TEMPORARY STONE ACCESS AREAS SHALL BE ESTABLISHED AT THE DRIVEWAY ENTRANCES TO COLLECT ENTRAPPED SOILS AND SEDIMENT FROM CONSTRUCTION AND SERVICE VEHICLES ENTERING AND LEAVING THE SITE. THE STONE SHALL BE REPLACED REGULARLY AS WELL AS WHEN THE STONE IS SILT LADEN. THE CONSTRUCTION ENTRANCES SHALL BE LEFT IN PLACE UNTIL THE PERMANENT DRIVEWAY SURFACE IS INSTALLED.
3. ONLY THE MINIMUM AREA SHALL BE DISTURBED FOR ALL CONSTRUCTION. ALL SPECIMEN TREES ARE TO BE SAVED UNLESS OTHERWISE NOTED. THE EXACT LIMITS OF CLEARING SHOULD BE MARKED IN ADVANCE.
4. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA WITHIN THE AREA OF DISTURBANCE, FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
5. CONSTRUCTION MATERIALS SHALL BE PILED IN SUCH A MANNER AS NOT TO CONCENTRATE RUNOFF.
6. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO, HAYBALES, SILT FENCE AND CRUSHED STONE.
7. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN OR IN CONDITIONS ISSUED BY PERMITTING AUTHORITIES.

PRELIMINARY SITE WORK:

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN THREE WEEKS. RUNOFF SHALL BE DIRECTED AWAY FROM STOCKPILES.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT. NO MATERIALS SHALL BE STOCKPILED, STORED OR DISPOSED OF WITHIN 100 FEET OF A WETLAND OR 200 FEET OF A RIVERFRONT RESOURCE AREA DURING OR AFTER CONSTRUCTION.
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAYBALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.
4. SIDE SLOPES SHALL NOT EXCEED A SLOPE OF TWO-FOOT HORIZONTAL TO ONE-FOOT VERTICAL.

DRAINAGE SYSTEM:

1. THE DRAINAGE SYSTEM SHALL BE INSTALLED FROM THE DOWNSTREAM END UP. SEDIMENT SHALL NOT BE ALLOWED TO ENTER THE SYSTEM. WATER SHALL NOT BE ALLOWED TO ENTER PIPES FROM UNSTABILIZED SURFACES.
2. RIP SALT SHALL BE INSTALLED AT THE PIPE INLETS AND OUTLETS IMMEDIATELY UPON PLACEMENT OF THE PIPE. SILT FENCES SHALL BE INSTALLED AT THE OUTFALLS OF ALL TEMPORARY BASINS AND SWALES. THEY SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY AREAS ARE STABILIZED.
3. UNTIL TRIBUTARY AREAS ARE STABILIZED, ARMORED DIKES AND/OR FILTERED CATCHBASIN INLETS SHALL COVER CATCHBASINS TO MINIMIZE SILTATION IN THE CATCHBASINS. IF INTENSE RAINFALL (SUCH AS A FLASH FLOOD) IS PREDICTED BEFORE ALL TRIBUTARY AREAS ARE STABILIZED, THE ARMORED DIKES SHALL BE REINFORCED FOR THE DURATION OF THE STORM. DOWNSTREAM AREAS SHALL BE INSPECTED AND ANY SEDIMENTS REMOVED AT THE END OF THE STORM.
4. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY PIPE INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE. THE ENDS OF PIPES SHALL BE CLOSED NIGHTLY WITH PLYWOOD.
5. IF UNSTABLE AREAS ARE ENCOUNTERED DUE TO NATURAL SPRINGS OR GROUNDWATER BREAKOUT, INTERCEPT DRAINS SHALL BE INSTALLED TO DIRECT THE RUNOFF INTO THE DRAINAGE SYSTEM.
6. ALL SWALES MUST BE MAINTAINED AND KEPT FREE OF OBSTRUCTIONS, TO ALLOW UNIMPEDED FLOW.
7. THE SWALES SHALL BE INSTALLED AS SOON AS FEASIBLE AS THESE AREAS WILL FUNCTION AS A CONDUIT FOR RUNOFF. THEY SHALL BE MAINTAINED THROUGH CONSTRUCTION.
8. IMMEDIATELY FOLLOWING PAVING, THE SHOULDERS AND ISLANDS SHALL BE GRADED, LOAMED AND SEEDED AND MULCHED IF NECESSARY. ALL SURFACES SHOULD BE RAPIDLY AND THOROUGHLY STABILIZED TO THEIR FINAL CONDITION TO AVOID ENTRY OF SEDIMENTS INTO THE DRAINAGE SYSTEM.
9. AT THE COMPLETION OF WORK, THE DRAINAGE SYSTEM SHALL BE OPENED AND INSPECTED. ANY FOREIGN MATERIAL PRESENT SHALL BE REMOVED.

LANDSCAPING:

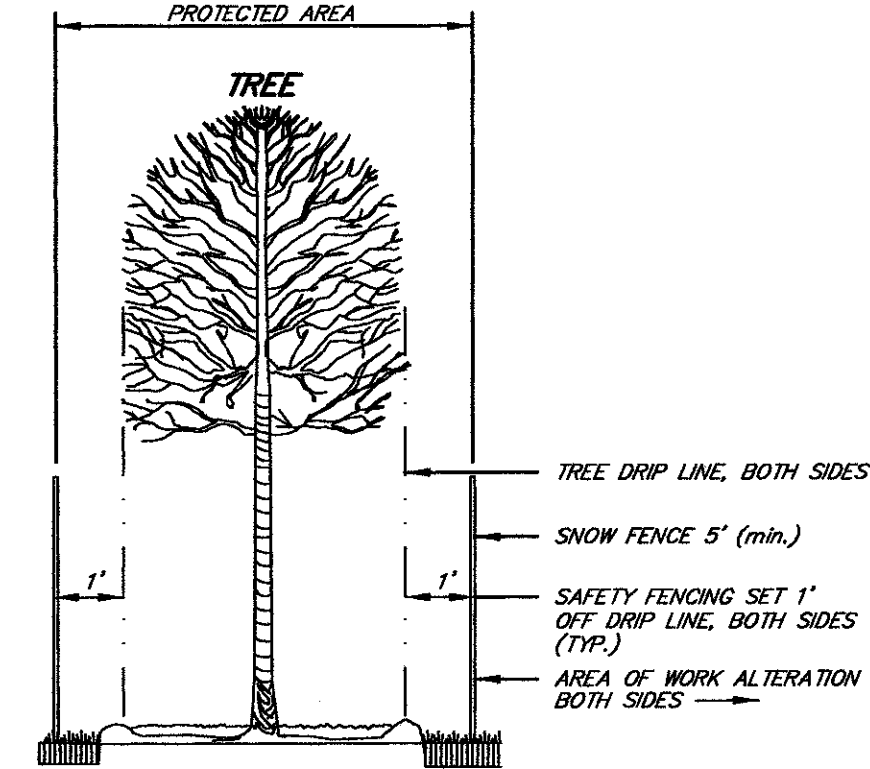
1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
2. CONTRACTOR SHALL UTILIZE A VARIETY OF SLOPE STABILIZATION METHODS AND MATERIALS WHICH SHALL BE ADJUSTED TO THE SITE CONDITIONS. EROSION CONTROL BLANKETS OR MIRAFI MIRAMAT (OR SIMILAR PRODUCTS) SHALL BE AVAILABLE ON-SITE.
3. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH HAY, TACKIFIED WOOD CHIPS OR OTHER METHODS SHALL BE PROVIDED.

UTILITIES:

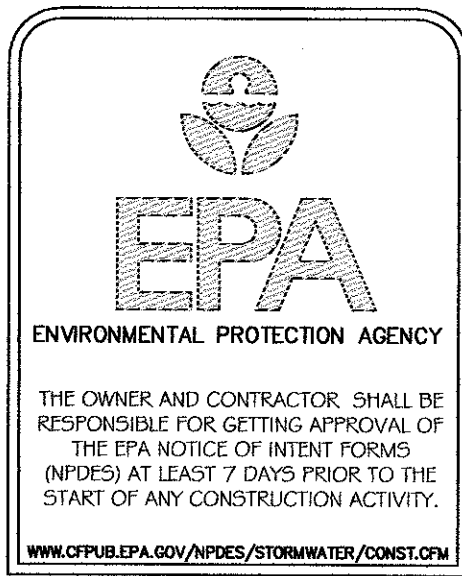
1. CARE SHALL BE TAKEN TO ASSURE THAT THE UTILITY TRENCHES DO NOT CHANNELIZE RUNOFF TOWARDS PUBLIC STREETS, PRIVATE DRIVES OR OTHER OFF-SITE AREAS.
2. TRENCH EXCAVATIONS SHALL BE LIMITED TO THE MINIMUM LENGTH REQUIRED FOR DAILY UTILITY INSTALLATION. ALL TRENCHES SHALL BE BACKFILLED AS SOON AS POSSIBLE.

PREVENTING DAMAGE TO EXISTING TREES DURING CONSTRUCTION:

- CONSTRUCTION EQUIPMENT CAN INJURE THE ABOVEGROUND PORTION OF A TREE BY BREAKING BRANCHES, TEARING THE BARK AND WOUNDING THE TRUNK. EXCAVATION NECESSARY FOR CONSTRUCTION AND UNDERGROUND UTILITY INSTALLATION CAN SEVER PORTIONS OF ROOTS AND CAN COMPACT SOILS, INHIBITING ROOT GROWTH AND DECREASING OXYGEN IN THE SOIL. PREVENTION METHODS FOLLOW:
1. ERECT CONSTRUCTION FENCES AROUND TREES THAT ARE TO BE RETAINED. PLACE FENCES OR OTHER PROTECTIVE MEASURES APPROVED BY THE TOWN, 12" BEYOND THE DRIP-LINE OF THE TREES TO BE PROTECTED.
 2. INSTRUCT CONSTRUCTION PERSONNEL TO KEEP THE FENCED AREA CLEAR OF BUILDING MATERIALS, WASTE AND EXCESS SOIL.
 3. NO DIGGING, TRENCHING OR OTHER SOIL DISTURBANCE SHOULD BE ALLOWED IN THE FENCED AREA.
 4. SPECIFY ACCESS ROUTE ON AND OFF THE PROPERTY AND STORAGE AREAS FOR EQUIPMENT, SOIL AND CONSTRUCTION MATERIALS FOR ALL CONTRACTORS.
 5. KEEP AREAS FOR BURNING (IF PERMITTED), CEMENT WASH-OUT PITS AND CONSTRUCTION WORK ZONES AWAY FROM PROTECTED TREES.
 6. WHEN INSTALLING NEW LANDSCAPING MATERIALS, AVOID EVEN SMALL INCREASES IN GRADE; AS LITTLE AS 2" TO 6" OF ADDITIONAL SOIL OVER EXISTING TREE ROOTS CAN REDUCE THE RATIO OF OXYGEN TO CARBON DIOXIDE AROUND TREE ROOTS.
 7. TREES THAT ARE DAMAGED DURING CONSTRUCTION MAY REQUIRE SEVERAL YEARS TO ADJUST, AND ARE MORE PRONE TO HEALTH PROBLEMS. MONITOR REGULARLY AND EVALUATE PERIODICALLY FOR DECLINING HEALTH OR SAFETY HAZARDS.



TREE PROTECTION DETAIL
NOT TO SCALE



STORMWATER POLLUTION PREVENTION PLAN (SWPPP):

THE CONTRACTOR SHALL DEVELOP A SWPPP IN ACCORDANCE WITH NPDES REQUIREMENTS. ALL REQUIREMENTS, INSPECTIONS, AND RECORD KEEPING OF THE NPDES PERMIT ARE TO BE ADHERED TO AT ALL TIMES.

STORMWATER MANAGEMENT, OPERATIONS & MAINTENANCE SCHEDULE

STORM WATER COLLECTION SYSTEM:

THE STORMWATER COLLECTION SYSTEM SERVING THIS SITE IS INTENDED TO BOTH COLLECT STORMWATER RUNOFF AND TO PROVIDE TREATMENT OF THE STORMWATER PRIOR TO ITS DISCHARGE IN THE EXISTING DRAINAGE SYSTEM, WETLANDS AND/OR WATERWAYS. THE STORMWATER DRAINAGE SYSTEM COLLECTS RUNOFF GENERATED FROM THE SITE THROUGH THE USE OF CATCHBASINS. EACH CATCHBASIN IS EQUIPPED WITH A FOUR (4) FOOT DEEP SUMP TO COLLECT SEDIMENTS AND DEBRIS. EACH CATCHBASIN WILL HAVE AN OIL/GAS TRAP TO PREVENT THE INTRUSION OF HYDROCARBONS AND OTHER FLOATING MATERIALS FROM ENTERING THE DRAINAGE SYSTEM. WHEN THESE CONTROL MECHANISMS ARE FUNCTIONING PROPERLY THEY PROVIDE FOR A REDUCTION OF CONTAMINANTS AND DEBRIS ENTERING THE STORMWATER COLLECTION AND RECHARGE SYSTEMS, AND THEREFORE DOWNSTREAM RECEIVING WATERS AND WETLANDS.

STORMWATER RUNOFF THEN GOES INTO A FOREBAY AND AN INFILTRATION BASIN. THE INFILTRATION BASIN IS DESIGNED TO MITIGATE THE PEAK RATE OF RUNOFF IN THE 2, 10, 25, AND 100-YEAR STORM EVENTS.

RUNOFF FROM THE INFILTRATION BASIN WILL EITHER FLOW OUT OF AN OUTLET PIPE OR IS INFILTRATED OUT OF THE BOTTOM OF THE BASIN.

ALSO, THE BUILDINGS, WITH THE EXCEPTION OF THE INN, WILL BE CONSTRUCTED WITH DRIP TRENCHES AROUND PORTIONS OF THE PERIMETER FOR ROOF RUNOFF INFILTRATION.

ALL OF THE ABOVE SYSTEMS RELY UPON PROPER MONITORING, OPERATIONS AND MAINTENANCE TO FUNCTION AS DESIGNED AND INTENDED. THE ACTIVITIES DESCRIBED BELOW ARE TO BE IMPLEMENTED DURING CONSTRUCTION OF THE PROJECT AS APPROPRIATE.

MONITORING AND OPERATION:

THE DRAINAGE SYSTEMS ARE REQUIRED TO BE MONITORED BY THE OWNER, WHO SHALL DIRECT AN INDIVIDUAL OR ENTITY TO ACT AS THE PROJECT SITE MANAGER. THE NAME, ADDRESS AND DAY AND NIGHT (OR EMERGENCY) TELEPHONE NUMBER OF THIS PERSON OR ENTITY SHALL BE PROVIDED TO THE TOWN PRIOR TO THE START OF CONSTRUCTION ON THE SITE. MONITORING AND OPERATION DURING CONSTRUCTION AND PRIOR TO APPROVAL BY THE TOWN SHALL CONSIST OF THE FOLLOWING:

1. ALL EROSION CONTROL DEVICES, STOCKPILED AREAS, AND STAGING AREAS SHALL BE INSPECTED AND MAINTAINED IN GOOD WORKING CONDITION THROUGHOUT THE LIFE OF THE PROJECT.
2. ALL CATCHBASINS SHALL BE INSPECTED TO ENSURE THEY ARE WATERTIGHT (HOLDING WATER), HAVE ADEQUATE SUMP CAPACITY, ALL OIL/GAS TRAPS ARE IN-PLACE, ALL GRATES AND FRAMES ARE FREE FROM STRUCTURAL DAMAGE, AND ARE DRAINING FREELY.
3. ALL DRAINAGE MANHOLES SHALL BE INSPECTED TO ENSURE THAT THEY ARE WATERTIGHT, ALL LIDS AND FRAMES ARE FREE FROM STRUCTURAL DAMAGE, ARE DRAINING FREELY AND ARE NOT PONDING WATER.
4. ALL OUTLETS FROM DISCHARGE PIPES, BASINS, PERMANENT AND TEMPORARY SWALES OR OTHER DRAINAGE STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS TO ENSURE THAT NO EROSION IS OCCURRING. ALL OUTLETS MUST BE FREE-FLOWING AND REGULAR INSPECTIONS SHALL BE CONDUCTED TO DETERMINE THAT NO DAMAGE HAS OCCURRED DURING CONSTRUCTION OR RELATED ACTIVITIES.
5. PRIOR TO APPROVAL OF THE SITE BY THE TOWN THE STORMWATER DRAINAGE SYSTEM SHALL BE INSPECTED AND CLEANED OF ANY MATERIAL WHICH MAY BE INHIBITING FLOW OF THE STORMWATER.
6. ALL MATERIALS USED IN THE CONSTRUCTION OF THE SITE MUST BE STORED IN A NEAT, ORDERLY MANNER IN STAGING AREAS TO BE DESIGNATED OUTSIDE A 100' BUFFER ZONE. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE, LOCAL OR FEDERAL AGENCY, AS REQUIRED BY LAW.
7. THE USE OF SODIUM CHLORIDE FOR ICE CONTROL SHALL BE MINIMIZED CONSISTENT WITH THE PUBLIC HIGHWAY SAFETY REQUIREMENTS.

PETROLEUM PRODUCTS:

1. ALL ON-SITE VEHICLES AND STAGING AREAS SHALL BE REGULARLY MONITORED FOR LEAKS. ANY EVIDENCE OF DISCHARGE SHALL BE IMMEDIATELY REMEDIED.
2. PETROLEUM PRODUCTS SHALL BE STORED UNDER COVER IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.

FERTILIZERS:

1. FERTILIZERS SHALL BE OF A LOW NITROGEN CONTENT AND BE USED IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER.
2. THE UNUSED CONTENTS OF ANY FERTILIZER BAGS SHALL BE TRANSFERRED TO A CLEARLY LABELED, SEALABLE PLASTIC BIN TO AVOID SPILLAGE.

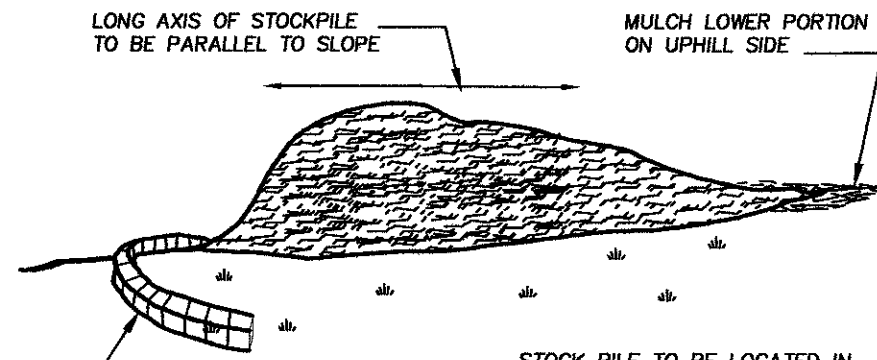
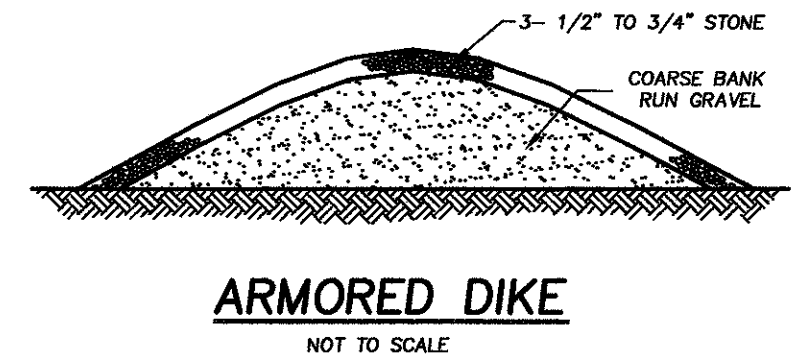
MAINTENANCE:

THE APPLICANT SHALL COMPLY WITH THE FOLLOWING MAINTENANCE SCHEDULE:

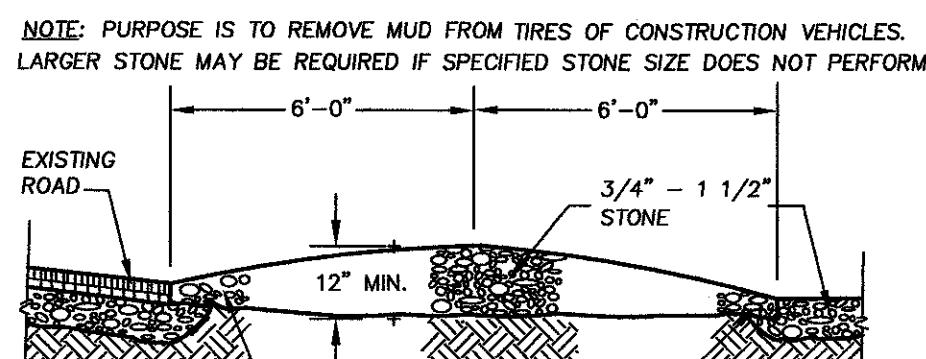
1. MONTHLY INSPECTION FOR DAMAGED OR CLOGGED CATCH BASIN GRATES.
2. BIENNIAL SWEEPING OF THE PARKING LOT AND ACCESS DRIVES.
3. BIENNIAL CLEANING OF THE CATCH BASINS AND WATER QUALITY INLET.
4. BIENNIAL INSPECTION OF THE DRIP TRENCHES, SEDIMENT FOREBAY AND BASIN.

IN ADDITION:

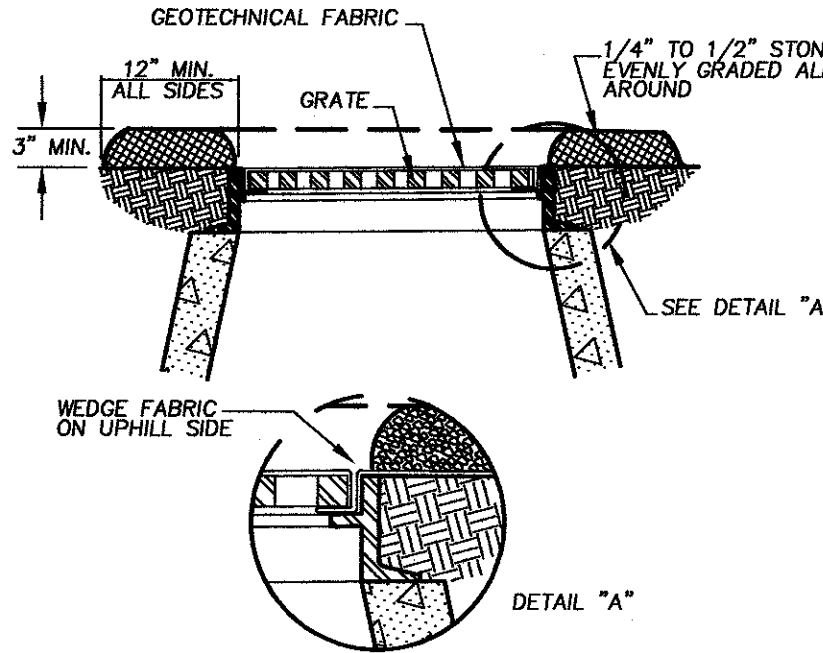
5. PARKING AREAS, ACCESS WAYS AND GUTTERS SHALL BE SWEEP CLEAN OF DEBRIS AND ACCUMULATION ON A REGULAR BASIS. AT A MINIMUM, A SPRING AND FALL CLEANING SCHEDULE IS RECOMMENDED.
6. THE CATCHBASINS AND WATER QUALITY INLET SHALL HAVE THE SUMPS CLEANED AT ANY TIME OF THE YEAR WHEN 2 FT. OR LESS SPACE EXISTS BELOW THE OUTLET INVERT, OR A MINIMUM OF ONCE PER YEAR, REGARDLESS OF SUMP ACCUMULATION. ALL DEBRIS FROM THE CLEANING SHALL BE DISPOSED OF OFF-SITE AND IN A MANNER AS PRESCRIBED BY LAW.
7. ALL OIL & GREASE TRAPS SHALL BE CHECKED FOR PHYSICAL INTEGRITY AND SEAL IMMEDIATELY AFTER EACH CATCHBASIN INLET CLEANING.
8. OIL ABSORBING PILLOWS OR OTHER MEANS SHALL BE USED TO REMOVE ACCUMULATIONS OF HYDROCARBONS (OIL / GREASE) IN CATCHBASINS AND WATER QUALITY INLETS THAT ARE REGULARLY OBSERVED TO CONTAIN HYDROCARBONS WHICH DO NOT EVAPORATE BETWEEN INSPECTIONS.
9. ALL BROKEN, LEAKING OR OTHERWISE DAMAGED STRUCTURES SHALL BE REPAIRED PROMPTLY UPON DISCOVERY.
10. INSPECTIONS OF INFILTRATION SYSTEMS SHALL INCLUDE OBSERVATIONS OF EROSION, DEBRIS, SAND DEPOSITS, AND VEGETATIVE GROWTH. VEGETATION SHALL BE CUT BACK ANNUALLY, AS APPROPRIATE, AND DEBRIS OR SEDIMENT REMOVED FROM THESE AREAS.



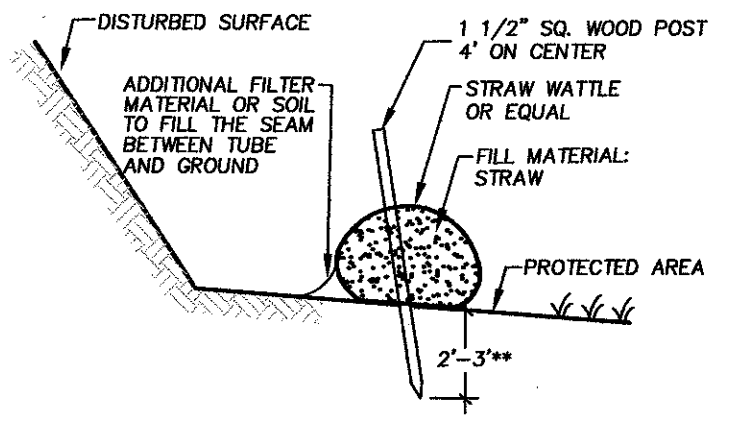
TEMPORARY STOCKPILE
NOT TO SCALE



TEMPORARY CONSTRUCTION EXIT
NOT TO SCALE

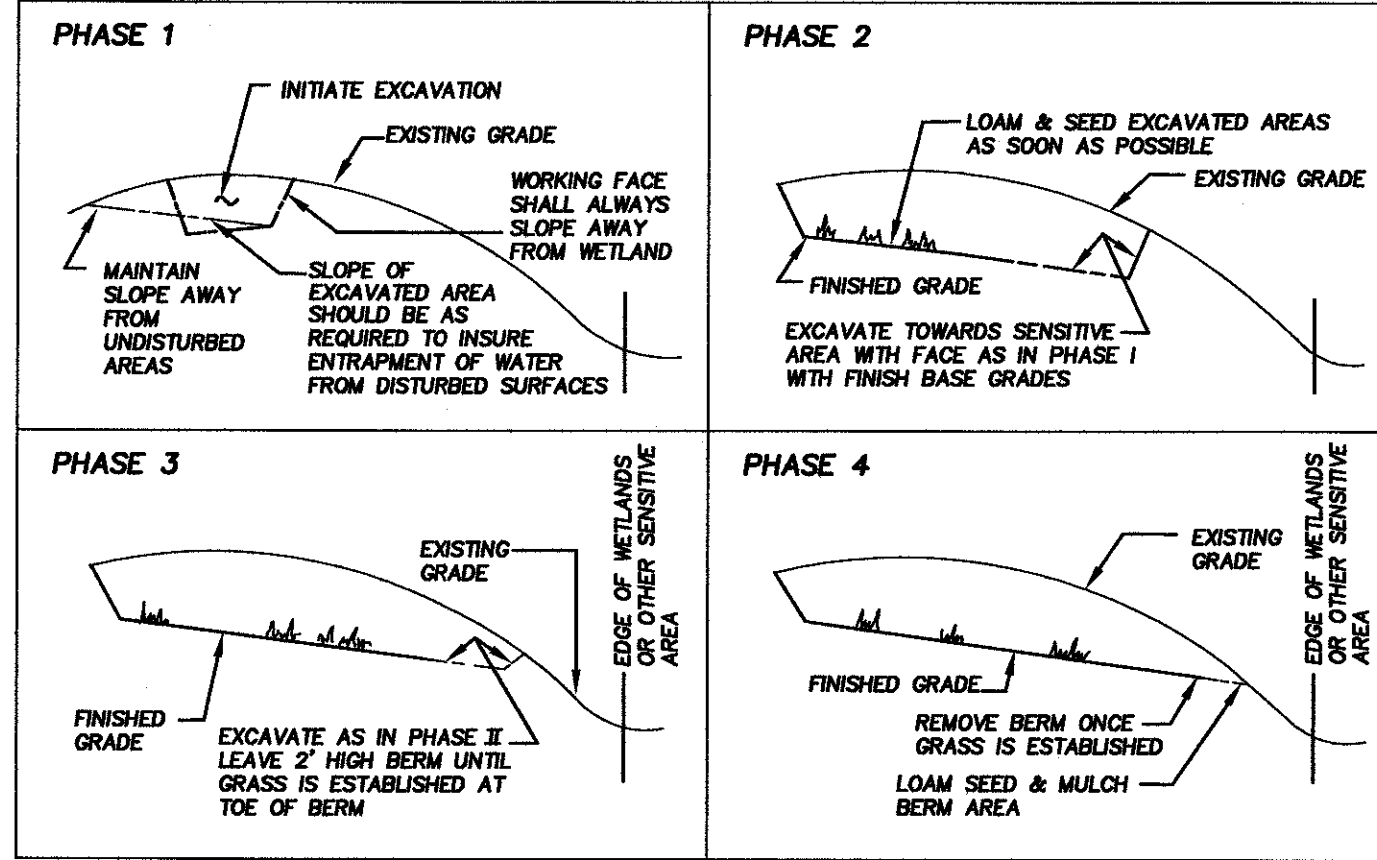


FILTERED CATCHBASIN INLET
NOT TO SCALE



ACCUMULATED SEDIMENT SHOULD BE REMOVED, OR A NEW SOCK INSTALLED, WHEN IT REACHES APPROXIMATELY ON-HALF OF THE WATTLE DIAMETER.
IF SHEET FLOWS ARE BYPASSING OR BREACHING THE WATTLE DURING STORM EVENTS, IT MUST BE REPAIRED IMMEDIATELY AND BETTER SECURED, EXPANDED ENLARGED OR AUGMENTED WITH ADDITIONAL EROSION AND SEDIMENT CONTROL PRACTICES.

STRAW WATTLE DETAIL
NOT TO SCALE



EXCAVATION SEQUENCE
NOT TO SCALE

**128 MAIN STREET
STORMWATER POLLUTION
PREVENTION PLAN**

**SITE PLAN IN
GROTON, MASS.**

PREPARED FOR

128 MAIN STREET, LLC

SCALE: NTS

APRIL, 2014

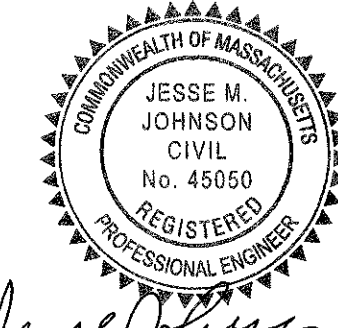
David E. Ross Associates, Inc.

CIVIL ENGINEERS - LAND SURVEYORS
ENVIRONMENTAL CONSULTANTS
PO BOX 368-111 FITCHBURG RD, AYER, MA 01432
(TEL. NO. 978-772-6232)

JOB NO. 29228

SHEET 11 OF 11

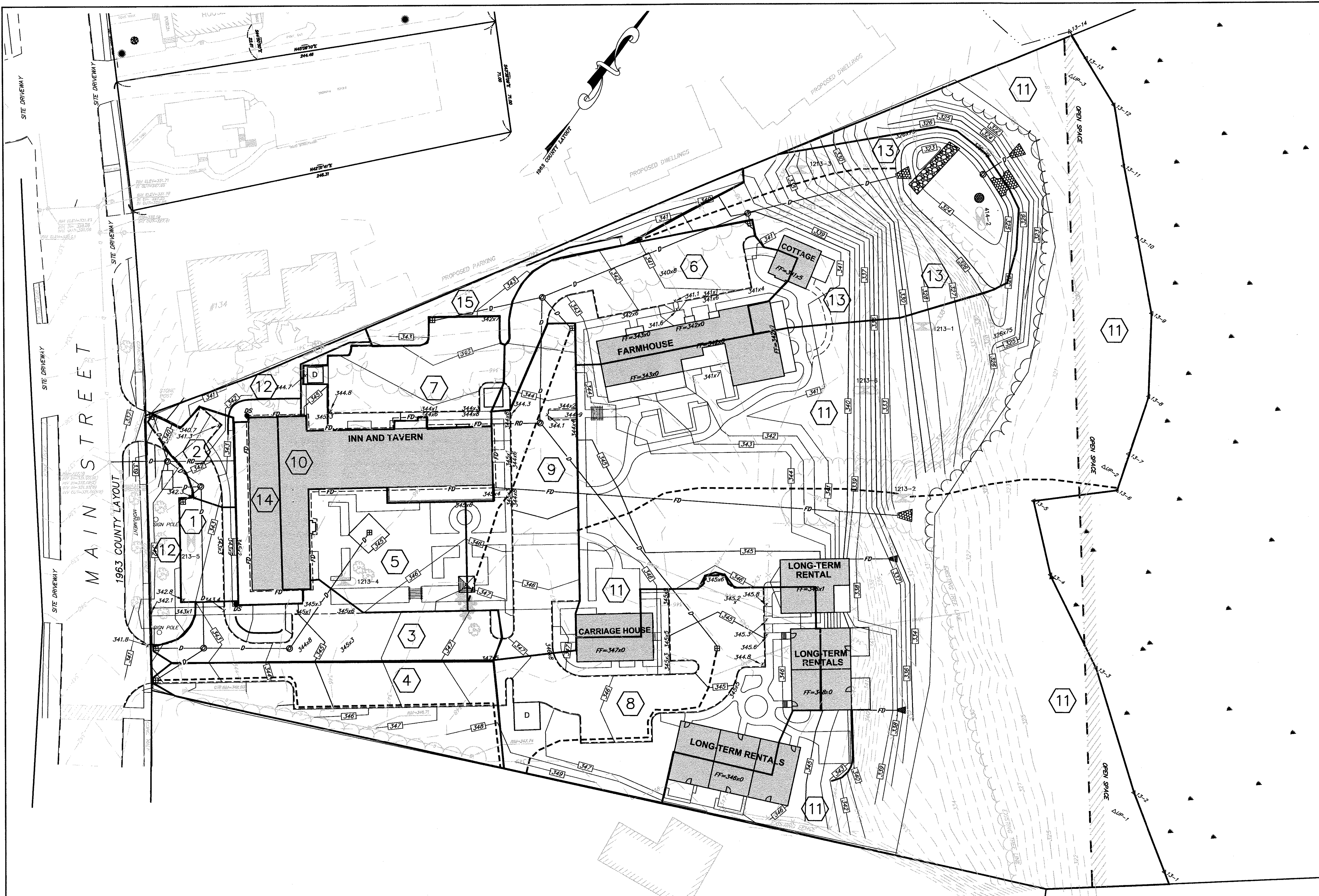
PLAN NO. L-12171



REVISIONS

APPROVED	
TOWN OF GROTON PLANNING BOARD	
CHAIRMAN	DATE
SECRETARY	DATE

APPROVAL OF THIS SITE PLAN DOES NOT INDICATE COMPLIANCE WITH ALL LOCAL ZONING BYLAWS.



LEGEND

- 10 SUBCATCHMENT
- 1 POND
- 11 REACH
- FLOW PATH
- SUBCATCHMENT BORDER

LEGEND

- | | |
|-------------------------------|-------------------------------------|
| — PROPERTY LINE | — EXISTING SEWER MANHOLE |
| --- EXISTING EDGE OF PAVEMENT | --- EXISTING WATER GATE |
| --- BUILDING ENVELOPE | --- EXISTING HYDRANT |
| --- EXISTING CONTOUR | --- EXISTING CURB STOP |
| --- EXISTING BUILDING | --- EXISTING WATER LINE |
| --- PROPOSED BUILDING | --- EXISTING GAS LINE |
| --- EXISTING TREE | --- EXISTING TELEPHONE LINE |
| --- EXISTING ELECTRIC LINE | --- PROPOSED HANDICAP PARKING SPACE |
| --- EXISTING UTILITY POLE | --- PROPOSED PARKING STALLS |
| --- EXISTING CATCHBASIN | --- PROPOSED PAVEMENT STRIPING |
| --- EXISTING DRAIN LINE | --- PROPOSED PAVEMENT |
| | --- PROPOSED CURBING |

**128 MAIN STREET
POST-DEVELOPMENT DRAINAGE**

CONCEPT PLAN IN
GROTON, MASS.

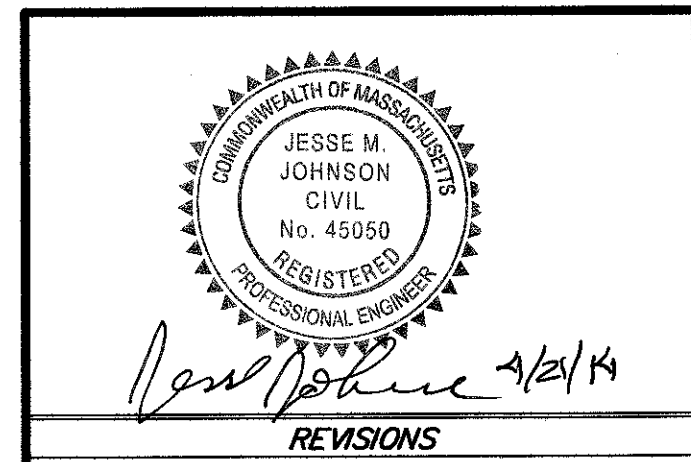
PREPARED FOR
128 MAIN STREET, LLC

SCALE: 1" = 30' MARCH, 2014

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(TEL. NO. 978-772-6232)

JOB NO. 29228 SHEET 2 OF 2 PLAN NO. L-12171



REVISIONS